



Land c. 27.5 Acres

Location Map Only



LAND C. 27.5 ACRES

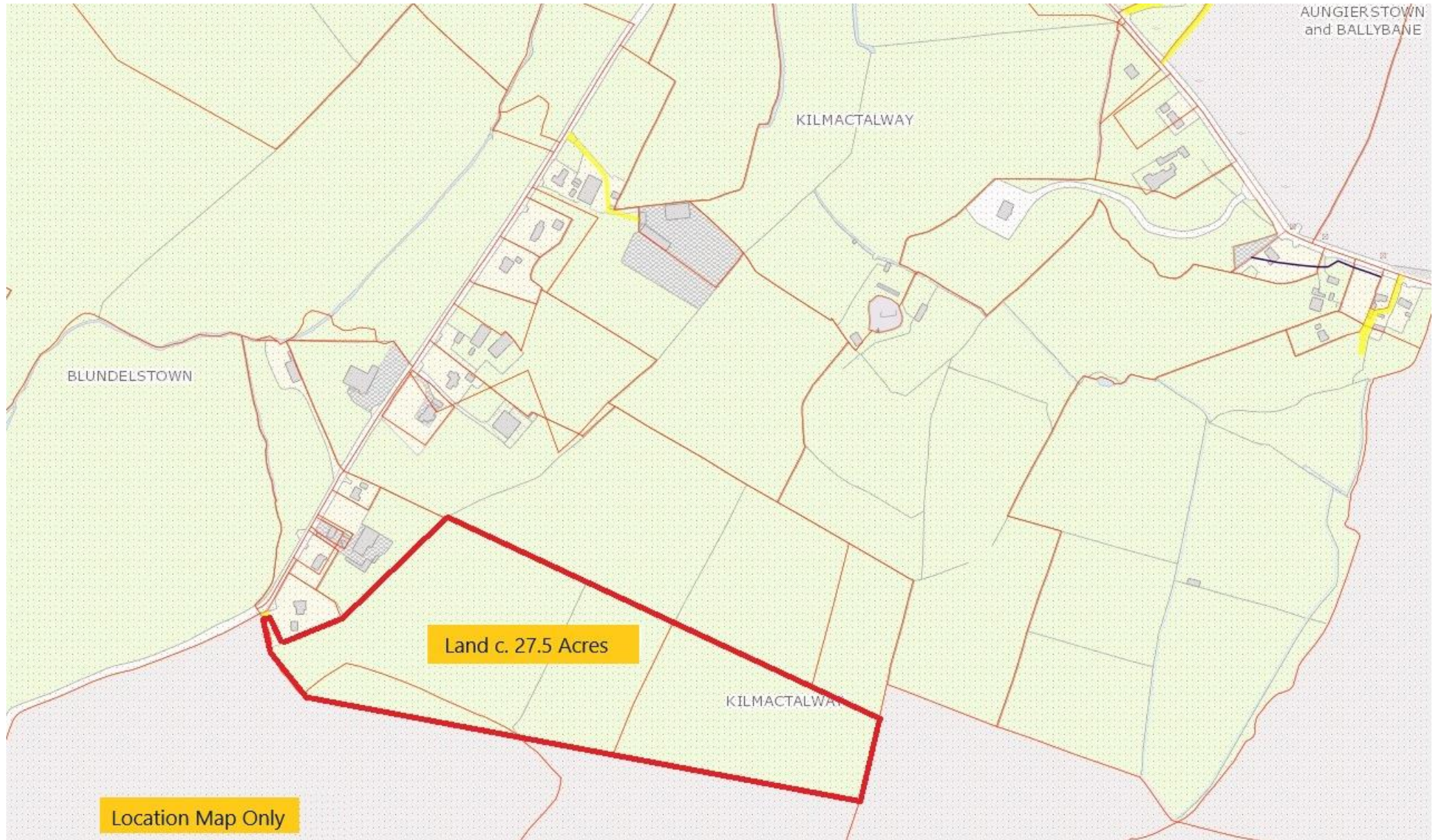
AYLMER ROAD | NEWCASTLE | CO DUBLIN

 (01) 490 3201

 www.jpmdoyle.ie

LOCATION

The property is conveniently located on the Northern side of Newcastle Village, close to Greenogue Business Park and Grange Castle Business Park. Situated on the Aylmer Road between Newcastle Village and Nangor Road. The towns of Lucan, Rathcoole and Saggart are also close by and both Adamstown Train Station and Saggart Luas Stop and within easy reach. Aylmer Road is easily accessed from the M50 and N7 road networks.



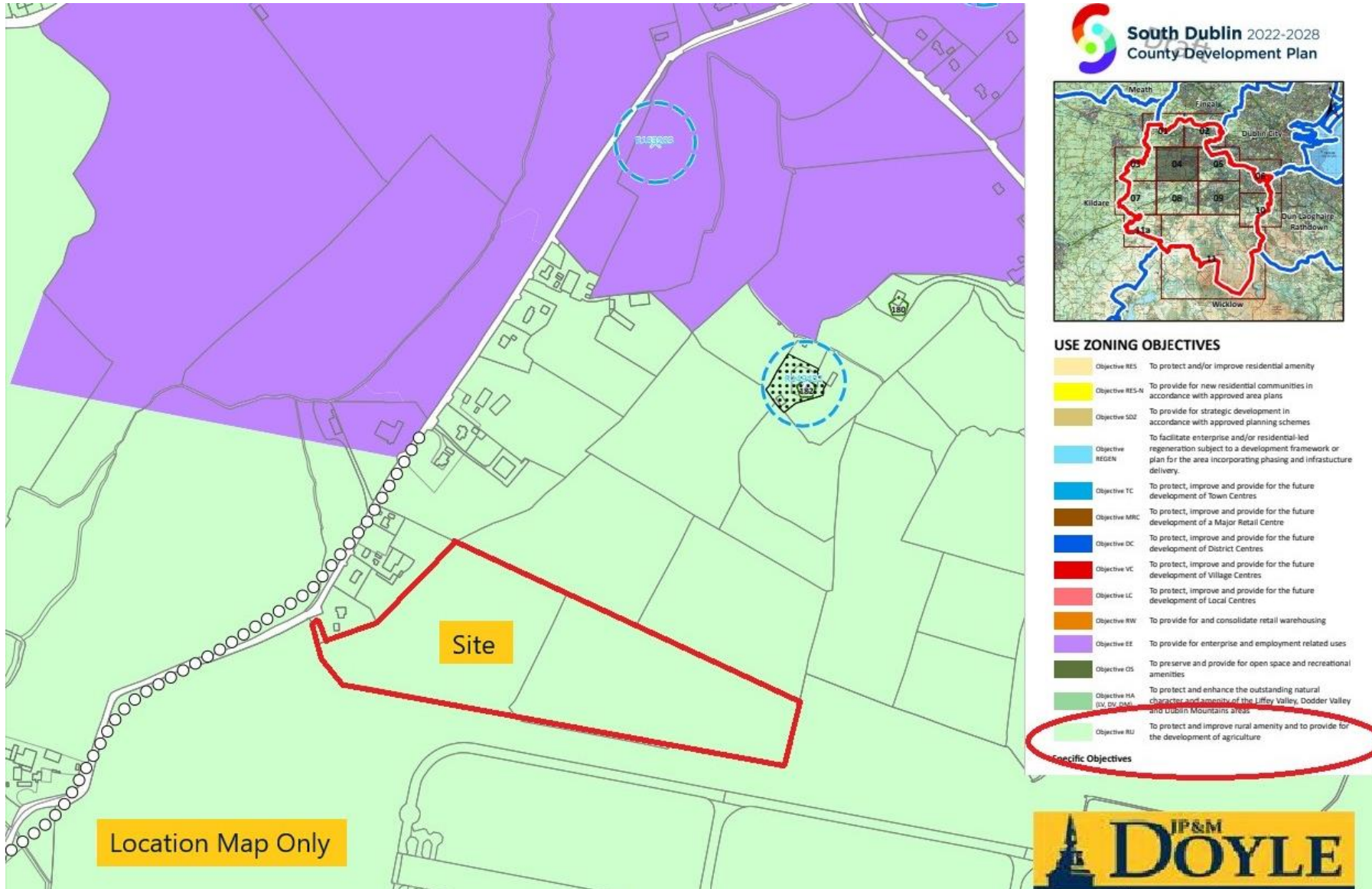
DESCRIPTION

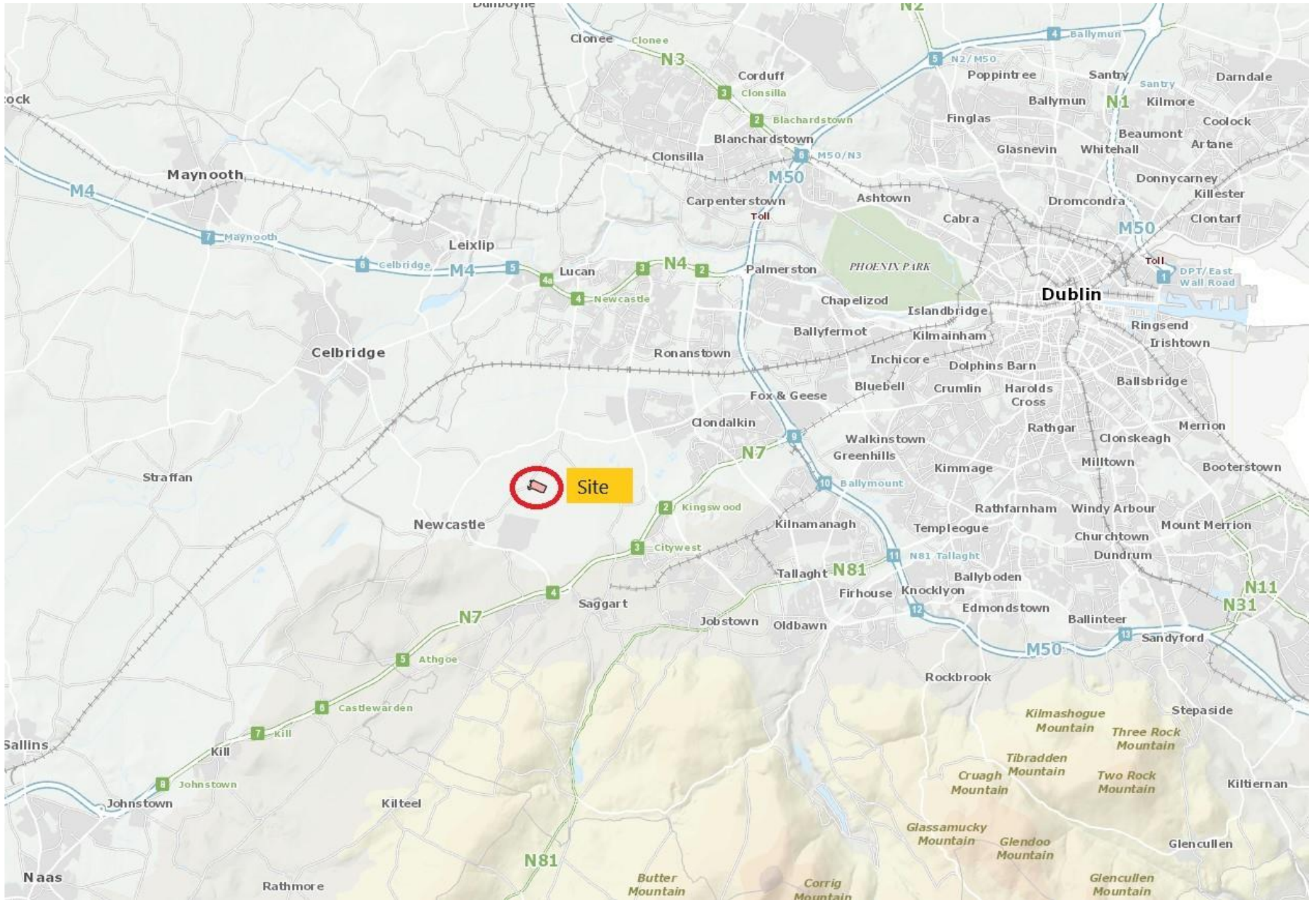
This is an excellent opportunity to acquire strategic land bank in an area that has seen substantial development in recent years. The property extends to c. 27.5 acres/ 11.1 Hectares of excellent quality land. The lands are currently in agricultural use but there is potential for rezoning in future Dublin Development plans.



TOWN PLANNING

The lands are currently shown as Zoned 'Objective RU' on the South Dublin Development Plan 2022 to 2028 'to protect and improve rural amenity and to provide for the development of agriculture'.





SELLING AGENT:

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Price Region: On Application

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