

**PLANNING AND DEVELOPMENT ACTS 2000 (AS AMENDED)**

**LIMERICK CITY & COUNTY COUNCIL**

**NOTIFICATION OF DECISION TO GRANT**

Eamon Cosgrove  
Mulcair Drive  
Annacotty  
Co Limerick

Planning Register Number:

17/474

Valid Application Received:

26/05/2017

Further Information Received Date:

28/09/2017

In pursuance of the powers conferred upon them by the above-mentioned Act, Limerick City & County Council has by Order dated 24/10/2017 decided for the reason set out in the First Schedule hereto, to GRANT PERMISSION for development of land in accordance with the documents submitted namely: to extend the existing single storey cottage to form a new two storey dwelling & for the construction of a single storey detached domestic garage, and for the construction of two new two storey dwellings with single storey detached domestic garage, access road, alterations to site entrance & all associated site works at Mulcair Drive Annacotty Co Limerick subject to the 29 condition(s) and the reasons for the imposition of the said condition(s) as set out in the Second Schedule.

Signed on behalf of said Council

Heather Supple  
for DIRECTOR OF SERVICES  
LIMERICK CITY & COUNTY COUNCIL

Date: 24/10/2017

Under Article 20 of the Planning & Development Regulations 2001 (as amended) the applicant shall remove the site notice in respect of the application following notification of the Planning Authority's decision. In deciding the planning application, the Planning Authority, in accordance with Section 34(3) of the Planning & Development Act 2000 (as amended) has had regard to submissions/observations received (if any) in accordance with the Planning & Development Regulations 2001 (as amended). In accordance with Article 31(i) of the Planning & Development Regulations 2001 (as amended), if there is no appeal to An Bord Pleanála a grant of permission shall be issued as soon as may be but not earlier than 3 working days after the expiration of the period for making of an appeal (see footnote). THIS NOTICE IS NOT A GRANT OF PERMISSION AND WORK SHOULD NOT COMMENCE UNTIL PLANNING PERMISSION IS GRANTED.

NOTE:

An appeal against a decision of a planning authority under the provisions of the Planning & Development Act 2000 (as amended) may be made to An Bord Pleanála at any time before the expiration of the appropriate period and on payment of the appropriate fee, by an applicant for permission or any person who made submissions or observations in writing in relation to the planning application. An appeal by a person who made submissions or observations must be accompanied by the acknowledgment of receipt of the submissions or observations from the planning authority. Any such appeal must be made in writing and received by the Board within 4 weeks beginning on the date of the making of the decision by the planning authority. The appeal must be fully complete from the start otherwise it will be invalid. It is very important to

note that any appeal referrals under the Planning & Development Acts 2000(as amended) which are not accompanied by the correct fee will be invalid.

P.T.O.

The scale of fees payable to An Bord Pleanála in respect of appeals is set out hereunder:

Case Type	Appeal received on or after 5 <sup>th</sup> September 2011	Planning Acts	
a. Application for strategic infrastructure development or a request to alter the terms of such development already permitted or approved.	€100,000		
b. Appeal against a decision of a planning authority on a planning application relating to commercial development, made by the person by whom the planning application was made, where the application included retention of development.	€4,500 or €9,000 if *EIS or **NIS involved		
c. Appeal against a decision of a planning authority on a planning application relating to commercial development, made by the person by whom the planning application was made, other than an appeal mentioned at (b).	€1,500 or €3,000 if *EIS or **NIS involved		
d. Appeal against a decision of a planning authority on a planning application made by the person by whom the planning application was made, where the application relates to retention of development, other than an appeal mentioned at (b) or (c) (non-commercial development).	€660		
e. 1 <sup>st</sup> party appeal solely against condition(s) – (2000 Act Section 48 or 49).	€220		
f. Appeal other than an appeal mentioned at (b), (c), (d) or (h).	€220		
g. Application for leave to appeal.	€110		
h. Appeal following a grant of leave to appeal.	€110		
i. Referral.	€220		
j. Reduced fee (payable by specified bodies).	€110		
k. Submissions or observations (by observer) on strategic infrastructure development applications, appeals and referrals.	€50		
l. Request from a party for an oral hearing.	€50		
		*EIS - Environmental Impact Statement	
		**NIS - Natura Impact Statement	

Submissions or observations on appeals made by third parties must be received by the Board within 4 weeks from the receipt of the appeal by the Board and the fee in this case is €50. Development consisting of the provision of two or more dwellings is classed as commercial development for the purposes of an appeal. Should you wish to make an appeal, the following documents are available on [www.pleanala.ie](http://www.pleanala.ie)

- A Planning Appeal Form/Checklist and
- A Guide to making a Planning Appeal.

Appeals should be addressed to An Bord Pleanála, 64 Marlborough Street, Dublin 1.



## FIRST SCHEDULE

Having regard to the nature of the proposed development, it is considered that, subject to compliance with the conditions as set out in the Second Schedule, the proposed development would be in accordance with the proper planning and sustainable development of the area.

## SECOND SCHEDULE

1. The development shall be carried out in accordance with the plans and particulars lodged with the application on the 26<sup>th</sup> day of May 2017, as amended by the further plans and particulars submitted on the 28<sup>th</sup> day of September 2017, except as may otherwise be required in order to comply with the following conditions.

Reason - In order to clarify the development to which this permission applies.

2. The developer shall pay to Limerick City & County Council a financial contribution of €10,560.00 (ten thousand five hundred and sixty euro) in respect of public infrastructure and facilities benefiting development in the area of the Planning Authority that is provided or intended to be provided by or on behalf of the Authority in accordance with the terms of the Development Contribution Scheme made under Section 48 of the Planning & Development Act 2000 (as amended). The contribution shall be paid prior to the commencement of development or in such phased payments as the Planning Authority may facilitate and shall be subject to any applicable indexation provisions of the Scheme at the time of payment.

Reason- It is a requirement of the Planning & Development Act 2000 (as amended) that a condition requiring a contribution in accordance with the Development Contribution Scheme made under Section 48 of the Act be applied to the permission.

3. Prior to commencement of any development on site, the developer shall lodge with the Planning Authority a cash deposit, a bond of an insurance company, or other security to secure the provision and satisfactory completion and maintenance until taken in charge by the Planning Authority of roads, footpaths, water mains, drains, public open space and other services required in connection with the development, coupled with an agreement empowering the Planning Authority to apply such security or part thereof to the satisfactory completion or maintenance of any part of the development. The amount of this security shall be €9,000.00 and the type of security shall be agreed with the Planning Authority prior to the commencement of development.

Reason – To secure the satisfactory completion of the services required in connection with the proposed development.

4. The Applicant shall take appropriate measures during the construction phase to ensure that no damage is caused to any party boundary on site. All party boundaries shall be protected during the construction phase and repaired where necessary at the expense of the Applicant.

Reason - In the interests of proper planning and development

5. The first floor side elevation windows (Site 2 & Site 3) shall have obscure glass only.

Reason - In the interest of proper planning and residential amenity

6. The proposed finished floor level of the development shall be a minimum of 11.5m (Malin Ordnance Datum). The Applicant shall include any mitigation measures set out in the Flood Risk Assessment submitted on file, to provide resilience against future flood events in the construction of the development hereby permitted under this Notification.

Reason – In the interest of proper planning and development

7. During construction of the proposed development, the following shall apply-  
 a. No work shall take place on site outside the hours of 8.00 a.m. to 8.00 p.m. Monday to Friday and 8.00 a.m. to 4.00 p.m. Saturday, or on Sundays or public holidays, unless otherwise agreed in writing by the Planning Authority.  
 b. No surface water run-off shall be discharged onto public roads, foul sewers or adjacent property.  
 c. Adequate car parking facilities shall be provided on site for all workers and visitors.

Reason – To protect the residential amenities of the area in the interest of proper planning and sustainable development.



8. The wheels and underside of all construction traffic leaving the site shall be cleaned, as required, to prevent soiling of public roads. A wheel washing facility, including water jets or other approved cleansing method shall be provided close to the site exit. In the event that any public roads become soiled by construction traffic from the site, these roads shall be cleaned immediately.

Reason - In the interest of the proper planning and sustainable development of the area, road safety and to protect the amenity of the area.

9. a. Equivalent sound levels arising from all sources within the proposed development, when measured at the boundary of noise sensitive locations (i.e. dwelling houses) shall not exceed a level of 55 dB (A)  $L_{Aeq}$  (60 minutes) between 0800 hours and 2000 hours Monday to Friday and 0800 hours and 1400 hours on Saturday. Noise levels shall not exceed 45dB (A)  $L_{Aeq}$  (15 minutes) at any other time.

b. Mechanical machinery systems shall not produce clearly audible tonal noises at night-time (22:00 to 08:00hrs) when assessed from the nearest noise sensitive location.

Reason - To protect the residential amenities of the area in the interest of proper planning and sustainable development of the area.

10. No lighting shall be permitted within the curtilage of the site at the roadside entrance or on the gate piers.

Reason - In the interest of traffic safety and to prevent light pollution in the rural countryside.

11. All surface water run-off from roofs, entrances and parking areas within the site shall be collected and disposed of within the site to surface water drainage system and shall be discharged to the public surface water sewer. No such surface waters shall discharge onto adjoining properties or the public road

Reason- In the interest of public health and to prevent flooding in the interest of traffic safety and amenity.

12. The external walls of the proposed houses shall be *plaster/dash*.

Reason - In the interest of visual amenity.

13. The roof shall be covered in blue-black, black or dark grey tiles/slates. The colour of the ridge tile shall be the same as the colour of the roof.

Reason - In the interest of visual amenity.

14. The watermain service connection to each residential unit shall be fitted with an individual boundary box including a stopcock and provision for a water meter in accordance with Irish Water/Úisce Éireann requirements.

Reason - In the interest of proper planning and orderly development.

15. Each house shall have its own independent foul and surface water sewer connections to the main foul and surface water sewers.

Reason - In the interest of public health.

16. Housing development and roads therein shall be suitably identified by nameplates erected in suitable positions in line with house completions. The names of the estate and roadways shall relate to local Irish townlands, place names or features. Details shall be submitted to the Planning Authority and agreed prior to commencement of development.

Reason - In the interest of local identity, history and culture associated with the area, in terms of sense of place

17. Prior to commencement of development a detailed public lighting scheme shall be submitted to and agreed in writing with the Planning Authority. The public lighting shall be erected and operational prior to the making available for occupation of any house.

Reason - In the interest of public safety.

18. Footpaths shall be dished at all road junctions.

Reason - To facilitate access for all in the interest of proper planning and development of the area.



19. Prior to the commencement of this development the site developer or appointed contractor shall submit to Planning and Environmental Services for agreement in writing a site specific waste management plan for the recovery/disposal of all wastes arising from the demolition, refurbishment and/or construction related activities of this development. The waste management plan shall include:

- A list of proposed authorised waste collection permit holders to be employed.
  - A list of the proposed waste facility permitted sites at which the wastes may be recovered or disposed of.
  - Estimates of the proposed tonnages of construction and demolition (C&D) wastes by type e.g. soil and stone, rubble, wood, metal and plastic.
- If asbestos containing materials have been identified as present, they shall be included in items (a), (b) and (c) above.

A template waste management plan can be found on our website at: <https://www.limerick.ie/council/construction-and-demolition-waste>

Reason: In the interests of sustainable waste management.

20. Within 1 month of the receipt of this Notification the Applicant shall submit details of how the open space provision will be maintained by the Applicant on an ongoing basis for written agreement of the Planning Authority.

Reason – In the interest of proper planning and development

21. Within 1 month of the receipt of this Notification the Applicant shall submit a Revised Site Layout Plan indicating the increased length of the estate road and footpath to finish at the south-eastern site boundary (adjoining House No. 2) for written agreement of the Planning Authority.

Reason – In the interest of proper planning and development

22. Where the Applicant proposes to connect to a public water/wastewater network operated by Irish Water, the Applicant shall sign a connection agreement with Irish Water prior to the commencement of any development on site and adhere to the standards and conditions set out in that agreement.

Reason – In the interest of proper planning and public health and safety

23. Each individual dwelling unit within this development shall have its own individual and separate water service connection with individual water meter in accordance with Irish Water specifications, located on the public footpath or publicly accessible area. The Applicant to ensure that a Bulk Water Meter is installed, if required, in a publically accessible area on the water main line entering this proposed development to Irish Water specifications. As some of the water mains may be laid in filled ground, the Applicant's Engineer shall ensure that ground treatment is suitable to prevent settlement of the water mains. All water mains installed, as part of this planning permission, must pass a pressure test and are leak free before being put into service. Certification of these pressure tests shall be submitted to Limerick City and County Council/Irish Water by the Applicant's Engineer. All water pipes, hydrants, sluice valves, etc., are to be to Irish Water specifications. No dead ends on water mains, loops required. All valves to be anti-clockwise close.

Reason – In the interest of proper planning and public health and safety

24. Each dwelling unit shall have its own 100 mm service connection with inspection manhole to the foul sewer in accordance with Irish Water recommendations, located on the public footpath or publicly accessible area. All gullies to be trapped. As some of the foul sewers may be laid in filled ground, the Applicant's Engineer shall ensure that ground treatment is suitable to prevent settlement of the foul sewers. On completion of the development the Applicant's Engineer shall certify all works in relation to all elements of the foul sewer networks, this cert to be provided upon completion of the development or prior to any sale or occupation of any unit within this development. In addition a CCTV Survey and Condition Report of the entire foul sewer system, (including manholes), with 'as built' on digital format compatible to Limerick City and County Council GIS data capture systems incorporating cover and invert levels shall be provided and shall be submitted to the Water Services Department of Limerick City and County Council prior to the sale or occupation of any unit within this development. The Applicant shall also submit an Engineers Certificate stating that the CCTV Survey, the Condition Report and the 'as built' drawings are a true and accurate representation of what is actually on the ground. Sealed manhole covers; (Class D400 for Roadways, hard shoulders and Vehicular Access and Class B125 for Footways and Grassways), to be installed on all service chambers in accordance with Limerick City and County Council Water Services Department recommendations.

Reason – In the interest of proper planning and public health and safety



25. The site shall be landscaped and boundaries treated as per the Site Layout Plan (Drawing No. 103A) submitted on 28/09/17. All existing hedging on site shall be retained and reinforced with a double row of native hedging species (e.g. holly, hawthorn, blackthorn, ash etc.) common to the locality. All planting shall take place in the first planting season following construction of the dwelling. The hedgerow shall be trimmed and maintained in a tidy condition at all times. All planting shall be completed prior to the occupation of any dwelling on site.

Reason - In the interest of visual and residential amenity

26. Footpaths - Footpaths for the proposed development should have a cross slope of 2.5%, this slope should be towards the roadway. Joints should be formed at maximum spacing of 3m. The minimum footpath width should be 2m. Footpaths should be constructed in accordance with the Recommendations for Site Development Works for Housing Areas. 100mm in depth generally, but increasing to 150mm where there is vehicular access. Footpaths to be continuous and ditched at crossing points, vehicular access and at all road-junctions, and include tactile paving to facilitate the disabled and others. Kerbs on flat at vehicular entrances are not permitted. Full construction details are required prior to commencement of development.

Reason - In the interest of proper planning and development

27. Road Opening Licence Requirement - A Road Opening Licence from Limerick City & County Council is required for any connection for services or construction works including the construction of the proposed entrance/exit.

Reason - In the interest of proper planning and development

28. Construction management and delivery plan for the construction of the development shall be submitted and agreed with the Planning Authority prior to the commencement of construction.

Reason - In the interest of proper planning and development

29. a. The garages shall only be used for storage purposes and purposes incidental to the enjoyment of the main dwelling and shall not be used for commercial or habitable purposes.

b. The external finishes of the proposed garages including roof tiles/slates, shall be the same as the dwelling in respect of colour and texture.

Reason - In the interest of visual amenity, residential amenity and the orderly development of the area



PLANNING SECTION

REF.NO: 17/474

24/10/2017

t: +353 (0) 61 556 000  
f: +353 (0) 61 556 001

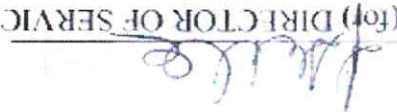
Lyndsey O'Brien  
Mardale  
Mullacair Drive  
Annacott  
Limerick

Re: Planning Reference No. 17/474 - Eamon Cosgrove

Dear Sir/Madam,

I refer to previous correspondence received from you in connection with an application by Eamon Cosgrove for PERMISSION for to extend the existing single storey cottage to form a new two storey dwelling & for the construction of a single storey detached domestic garage, and for the construction of two new two storey dwellings with single storey detached domestic garage, access road, alterations to site entrance & all associated site works at Mullacair Drive Annacott Co Limerick and enclose herewith a copy of Council's decision on same.

Yours faithfully,

  
(for) DIRECTOR OF SERVICES  
PLANNING & DEVELOPMENT



24/10/2017

Planning Ref: 17/474

Eamon Cosgrove,  
Mulcair Drive,  
Annacott,  
Co Limerick,

Re: PERMISSION for to extend the existing single storey cottage to form a new two storey dwelling & for the construction of a single storey detached domestic garage, and for the construction of two new two storey dwellings with single storey detached domestic garage, access road alterations to site entrance & all associated site works

Development Location: Mulcair Drive, Annacott, Co Limerick.

Planning Reference No: 17/474

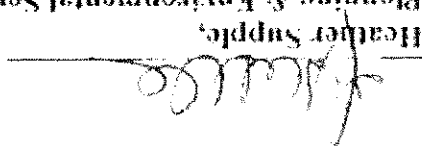
Dear Sir/Madam,

Please note the following:

- As the Applicant is proposing to make a 'significant connection' to both the Irish Water main and foul sewer networks, the Applicant is to contact Irish Water and fill in the 'Pre-Connection Query' form.
- Where the applicant proposes to connect to a public water/wastewater network operated by Irish Water, the applicant must sign a connection agreement with Irish Water prior to the commencement of the development and adhere to the standards and conditions set out in that agreement.
- In the interest of Public Health and Environmental Sustainability, proposed connections to the Water and Waste Water Infrastructure will be subject to the constraints of the Irish Water Capital Investment Programme.
- In accordance with the requirements of section 104 of the 2007 Water Services Act there shall be no building over water mains, common pipes, or sewers, and if found the applicant must contact Limerick City and County Council Water Services Department. Irish Water with a proposal for altering at the cost of the applicant.

- All works to water mains and foul sewers to be in accordance with Irish Waters' Technical Documentation, Code of Practice, Water Infrastructure Standard Details', Irish Water Wastewater Infrastructure Standard Details'
- The integrity, operation and access to the foul sewer and water main systems shall not be compromised by the proposed development works.
- The proposed development works involved shall not adversely affect the operation of the foul sewer and water main systems for the neighbouring properties.
- Irish Water should be contacted for all water main and foul sewer connections and should be consulted prior to construction.
- Limerick City and County Council Irish Water will require certification from an Engineering Company with a minimum of €2M professional indemnity insurance on the completion of the project stating that all the works in relation to the surface water sewers, foul sewers and water mains, have been completed to Good Engineering Practices and in accordance with the conditions laid down in the Planning Permission, a further Engineers (Chartered Certificate will be required at the Taking in Charge stage stating that no deterioration has occurred in the surface water sewers and foul sewers and water mains since the issue of the last certificate.
- Surface Water Disposal - No surface water is to enter the foul sewer network.
- Public Lighting - A further public light is required at the end of the cul-de-sac on Mulcair Drive, the type and location can be agreed with Kieran Fitzgerald of Operations & Maintenance Services, Central Services, Limerick City & County Council prior to the commencement of the development.
- Lighting Standard within the estate - The developer shall provide public lighting to the roads, residential & pedestrian areas, designed (and signed) by a competent Lighting Design Engineer which shall comply with BS5489: 2013 and BS EN 13701: 2003.
- Development Maintenance Lighting until the estate has been taken in charge - Public lighting to the development shall be kept active and maintained by the developer until taken in charge by Limerick City & County Council. Prior to the occupation of any new units within any phase of new development, the public lights shall be switched on and maintained by the developer. All lights to be numbered in sequence.
- Planting around or close to Public Lighting - Any proposed hedging or shrubs within a 10m radius of any proposed public lighting has to be kept to a maximum height of 1.2m above ground level. Under no circumstances is any light to be erected under or close to any existing trees. Under no circumstances is any tree stand to be planted within a 10m radius of any lighting column/columns.

Yours faithfully,

  
Heather Supple,  
Planning & Environmental Services.



Limerick City & County Council

PLANNING AND DEVELOPMENT ACT 2000 (as amended)

Acting Senior Planner Limerick City & County Council Order No: P.D. 967/2017

Reference Number: 17/474

Name of Applicant: Eamon Cosgrove

Address: Mulcair Drive

Annacotty  
Co Limerick

Nature of Application

PERMISSION for to extend the existing single storey cottage to form a new two storey dwelling & for the construction of a single storey detached domestic garage, and for the construction of two new two storey dwellings with single storey detached domestic garage, access road, alterations to site entrance & all associated site works

Location of Development:

Mulcair Drive Annacotty Co Limerick

Recommendation of A/S.E.P.

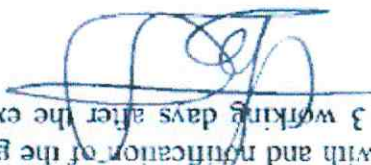
PERMISSION BE GRANTED for the above mentioned development subject to the 29 condition(s) set out in the Second Schedule hereto.

ORDER:

Whereas by Chief Executive's Order No. HR. 17/33 dated 16<sup>th</sup> January 2017, Conn Murray, Chief Executive of Limerick City & County Council, did, pursuant to the powers conferred on him by Section 154 of the Local Government Act, 2001, (as amended by the Local Government Reform Act 2014) delegate unto Stephanie Duclot, with effect from the 16<sup>th</sup> January 2017, the functions within the meaning of the Local Government Act, 2001 as set out therein.

NOW THEREFORE pursuant to the delegation of the functions aforesaid, I, Stephanie Duclot, Acting Senior Planner, Limerick City & County Council, hereby decide, pursuant to the provisions of the Planning & Development Act 2000 (as amended) and the Planning & Development Regulations 2001 (as amended), for the reason set out in the First Schedule attached hereto, to GRANT PERMISSION for the above development in accordance with documents submitted, subject to the 29 condition(s) set out in the Second Schedule attached hereto.

Notification of decision to grant to issue forthwith and notification of the grant of PERMISSION to issue as soon as may be but not earlier than 3 working days after the expiration of the period for making of an appeal.



ACTING SENIOR PLANNER  
PLANNING & ENVIRONMENTAL SERVICES  
DATED THIS 24/10/2017

LIMERICK CITY & COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACTS, 2000 (AS AMENDED)

NOTIFICATION OF GRANT OF PERMISSION

Eamon Cosgrove  
Mulcair Drive  
Annacotty  
Co Limerick

PLANNING REGISTER NUMBER: 17/474

APPLICATION RECEIPT DATE: 26/05/2017

Permission for to extend the existing single storey cottage to form a new two storey dwelling & for the construction of a single storey detached domestic garage, and for the construction of two new two storey dwellings with single storey detached domestic garage, access road, alterations to site entrance & all associated site works at Mulcair Drive Annacotty Co Limerick.

Further to the Order dated: 24/10/2017

A PERMISSION has been granted for the development described above subject to the 29 condition(s) set out on the Schedule which accompanied the Notification of the Council's Decision dated 24/10/2017.

Signed on behalf of the said Council

Heather Supple

(for) A/Senior Planner

Planning & Environmental Services

28/11/2017

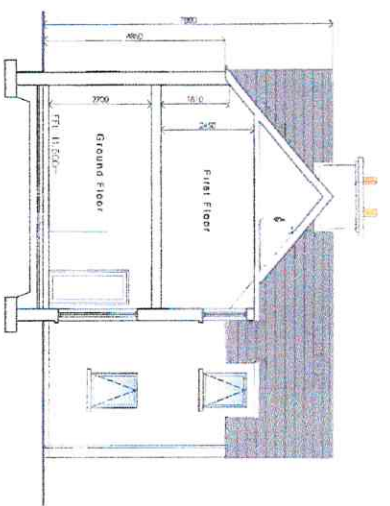
Please note that the provisions of Planning & Development Act 2000 (as amended) limits the duration of this planning permission to a period of five years from the date hereof.



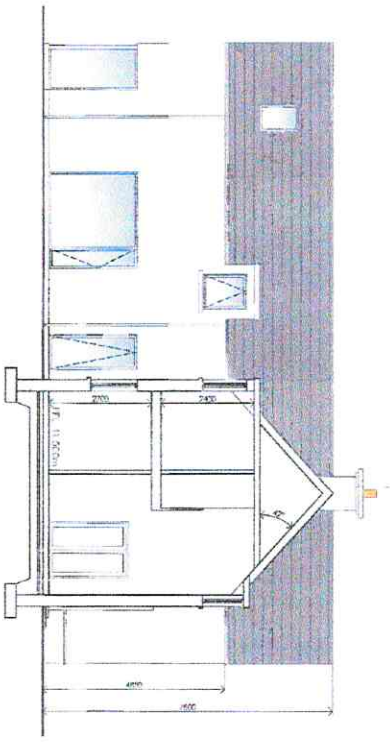




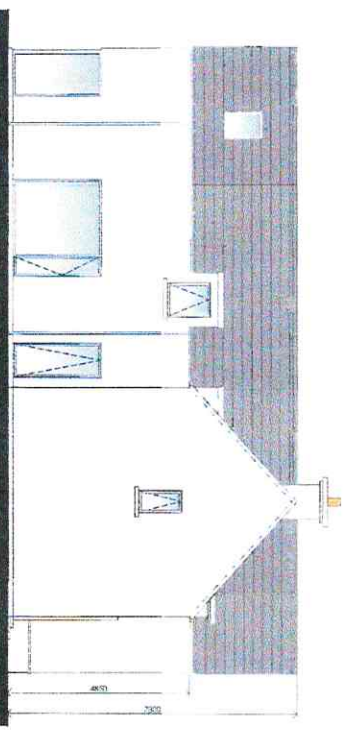
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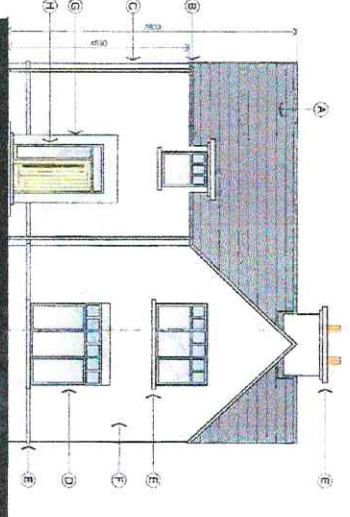
Section B-B



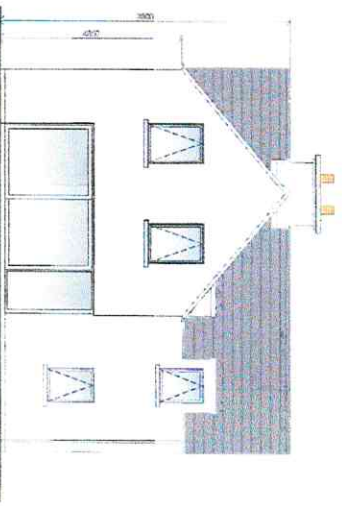
Section A-A



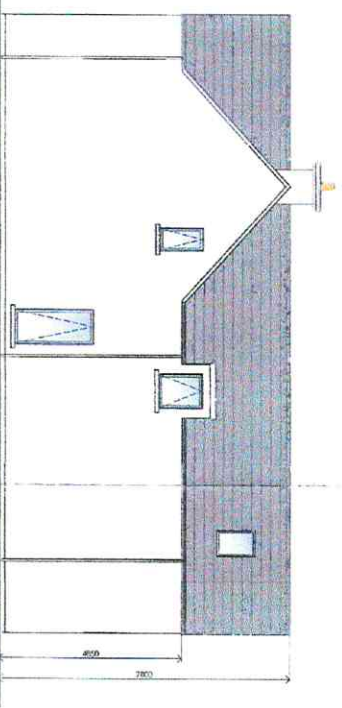
Side Elevation



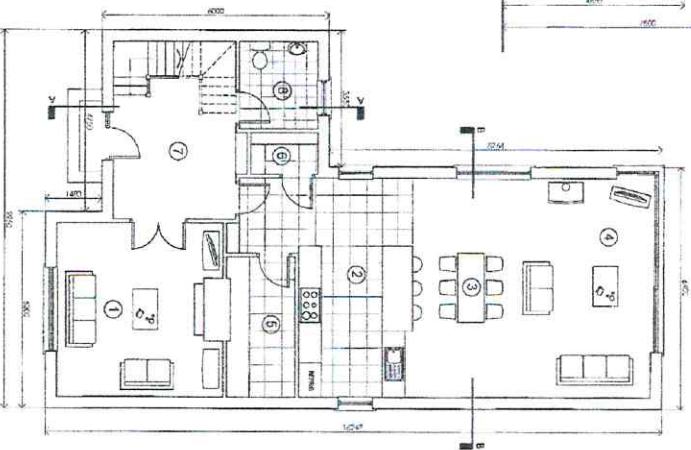
Front Elevation



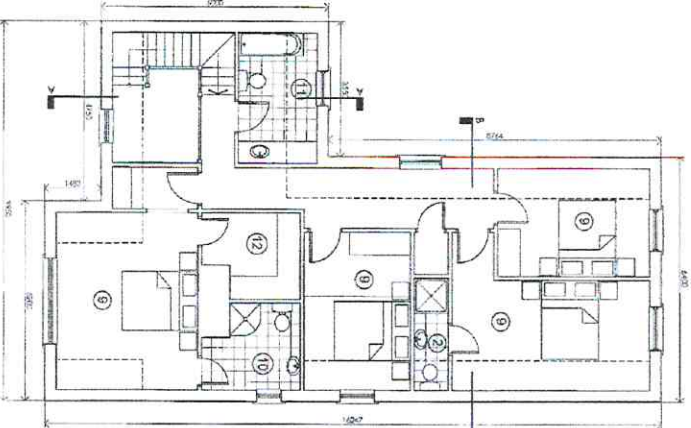
Rear Elevation



Side Elevation



Ground floor plan



First floor plan

- A. Slated roof  
B. Half round aluminium gutters  
C. Circular aluminium downpipes  
D. Double glazed windows  
E. Stone  
F. Render  
G. Stone door surround  
H. Hardwood door

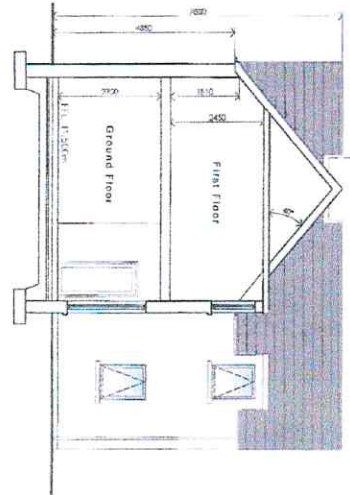
Floor Areas  
Ground Floor: 108sqm / 1,162sqft  
First Floor: 108sqm / 1,162sqft  
Total: 216sqm / 2,324sqft

1. Sitting room  
2. Kitchen  
3. Dining  
4. Kitchen  
5. Utility  
6. Larder  
7. Hall  
8. WC  
9. Bedroom  
10. Ensuite  
11. Bathroom  
12. Walk-in

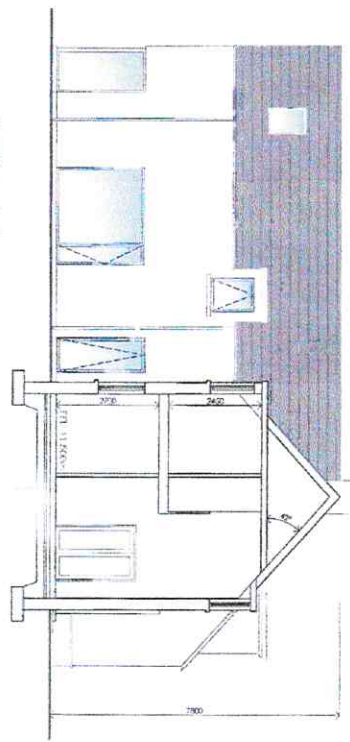
project:	Mulcair Drive	date:	24 May '17
address:	Mulcair Drive, Annacotty, Co. Limerick	scale:	1:100
drawing title:	House 1 general arrangement drawings	drawn by:	K. Flanagan, 31 Lansdowne Hill, Limerick
client:	Mr. Eamon Cosgrove	drawn by:	P. O'Connell
drawn by:	K. Flanagan, 31 Lansdowne Hill, Limerick	drawn by:	P. O'Connell
drawn by:	P. O'Connell	drawn by:	P. O'Connell



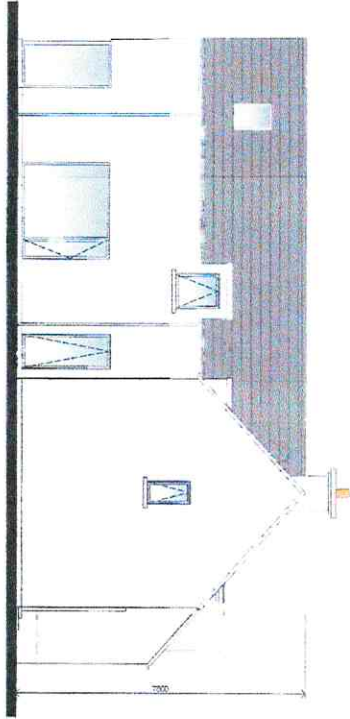
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Section B-B



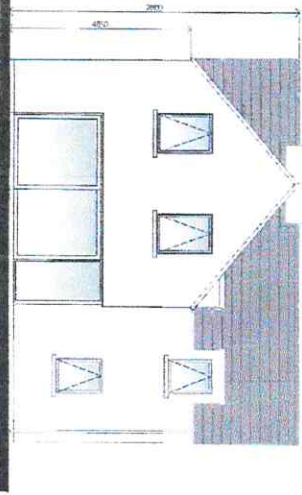
Section A-A



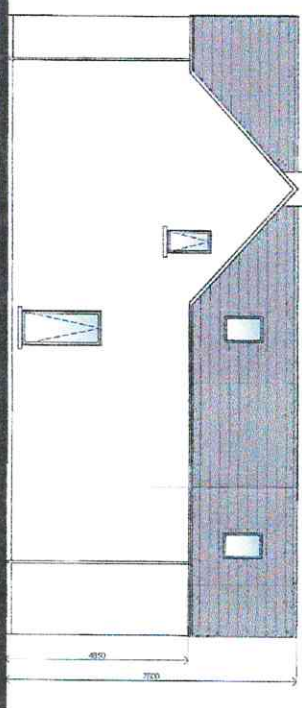
Side Elevation



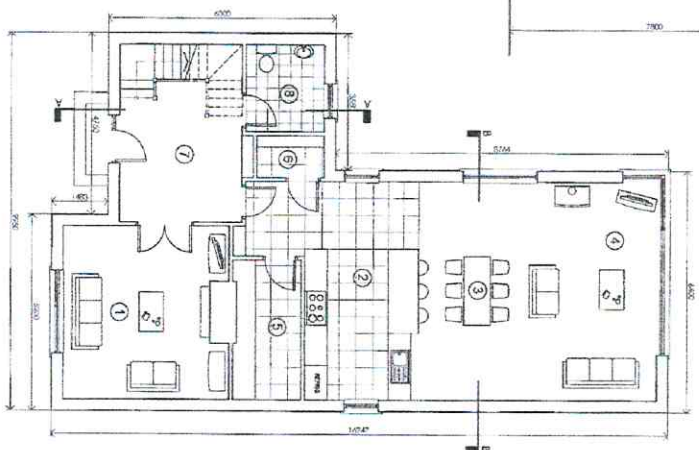
Front Elevation



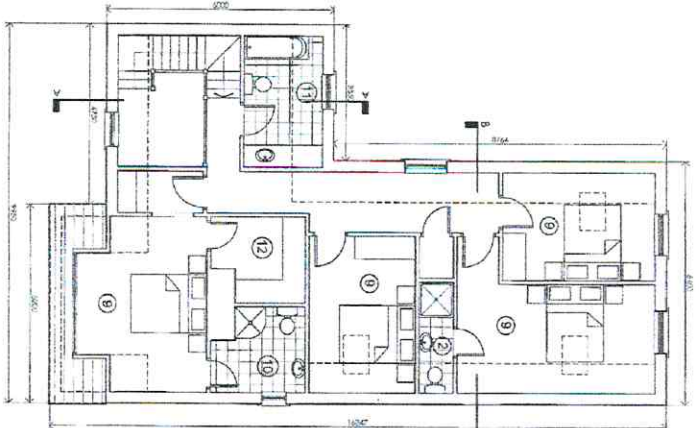
Rear Elevation



Side Elevation



Ground floor plan



First floor plan

- A. Stated roof  
B. Half round aluminium gutters  
C. Circular aluminium downpipes  
D. Double glazed windows  
E. Stone clis  
F. Render  
G. Stone door surround  
H. Hardwood door  
J. Precast concrete band

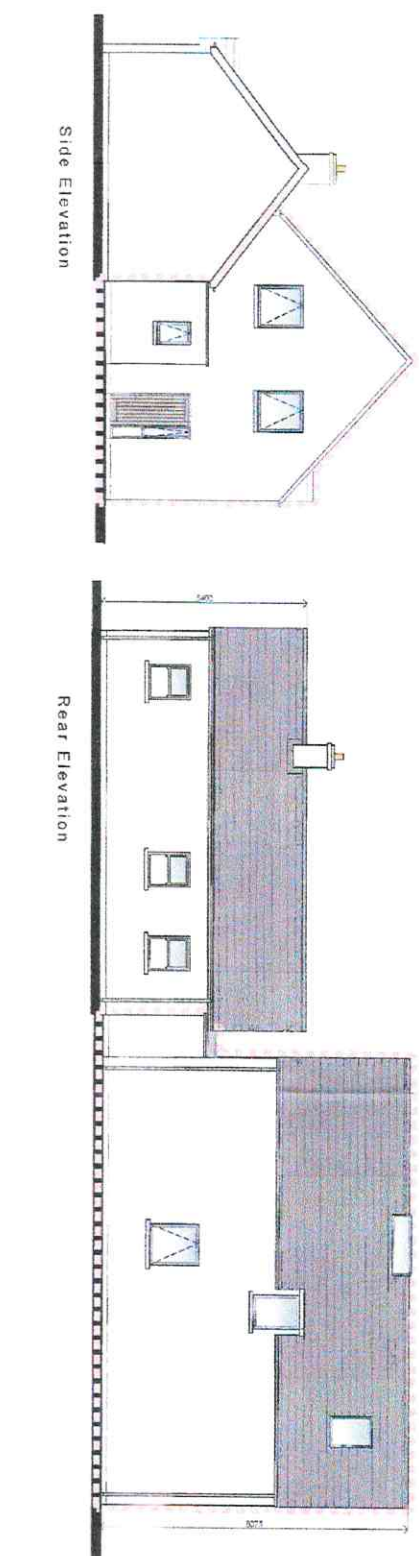
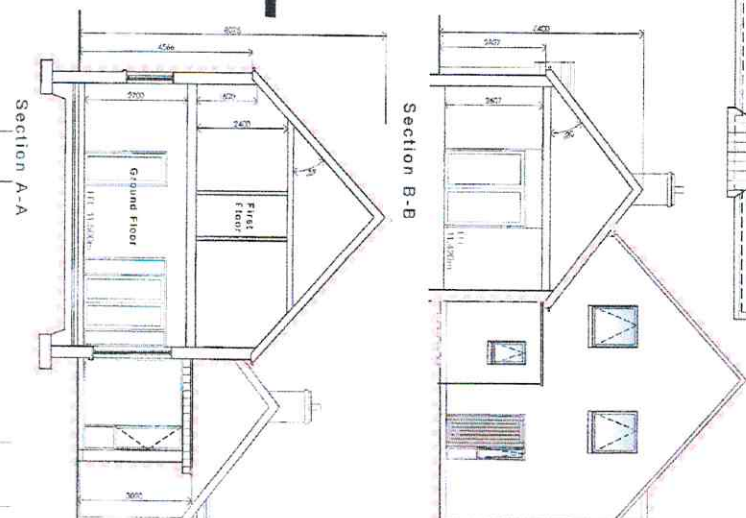
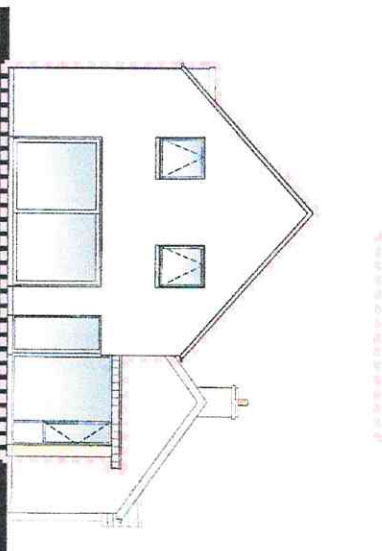
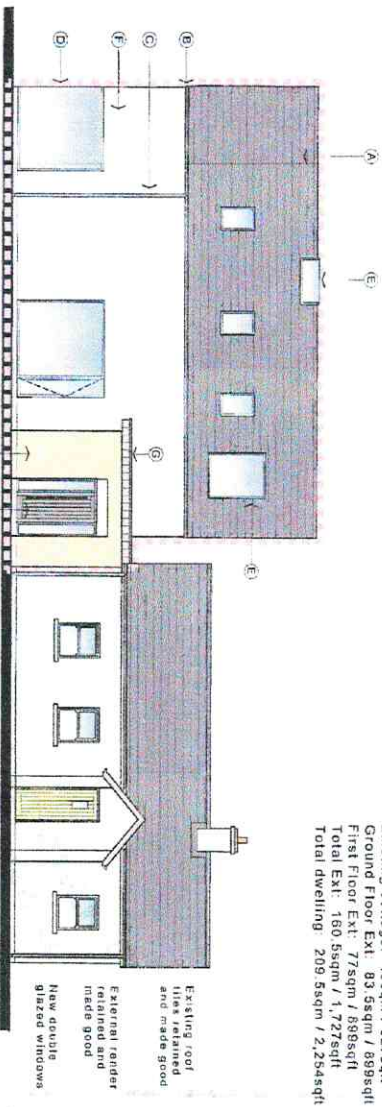
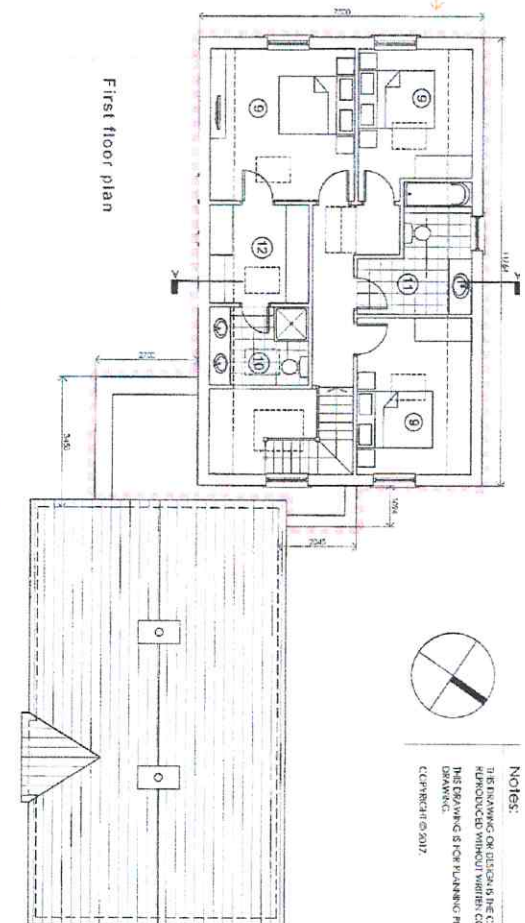
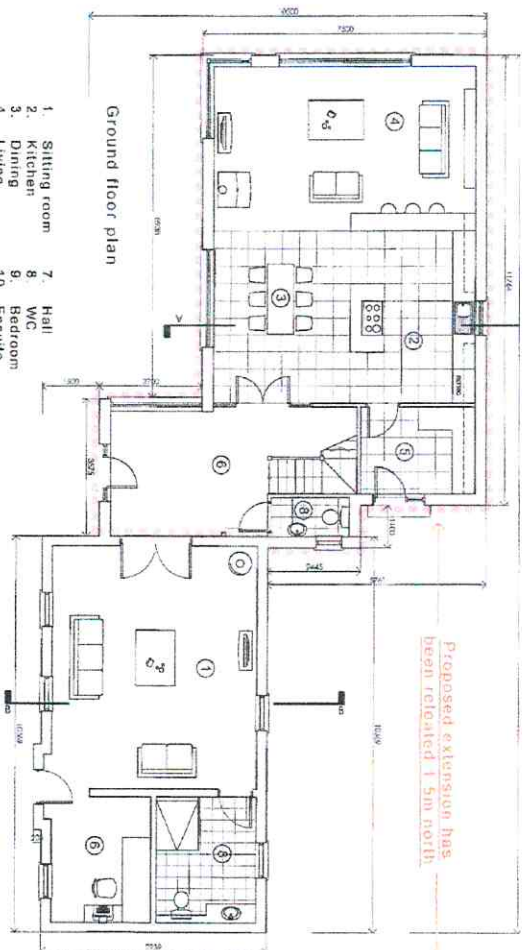
Floor Areas  
Ground Floor: 108sqm / 1,162sqft  
First Floor: 104sqm / 1,118sqft  
Total: 212sqm / 2,282sqft

1. Sitting room  
2. Kitchen  
3. Dining  
4. Kitchen  
5. Utility  
6. Larder  
7. Hall  
8. WC  
9. Bedroom  
10. Ensuite  
11. Bathroom  
12. Walk-in

project:	Mulcair Drive	date:	24 May '17
address:	Mulcair Drive, Annacotty, Co. Limerick	scale:	1:100
drawing title:	House 2 general arrangement drawings	project:	Planning
client:	Mr. Eamon Cosgrove	drawn by:	K. Finnegan, 31 Lansdowne Hill, Limerick
drawn by:	K. Finnegan, 31 Lansdowne Hill, Limerick	checked by:	106
drawn by:	P. 084 657552	checked by:	106

26 MAY 2017





Project:	Mulcair Drive	Date:	19 Sept'
Address:	Mulcair Drive, Annacotty, Co. Limerick	Scale:	1:100
Client:	Mt. Eamon Cosgrove	Stage:	Planning
Drawn by:	K. Flanagan, 31 Lonsdowne Hill, Limerick	Sheet no.:	107
	T: 087 6587762	Revision:	A

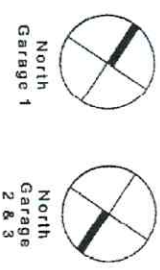
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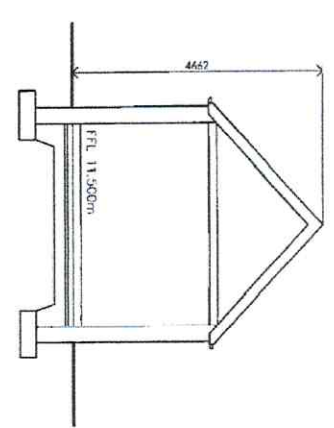
THIS DRAWING IS FOR PLANNING PURPOSES ONLY, IT IS NOT A CONSTRUCTION DRAWING.

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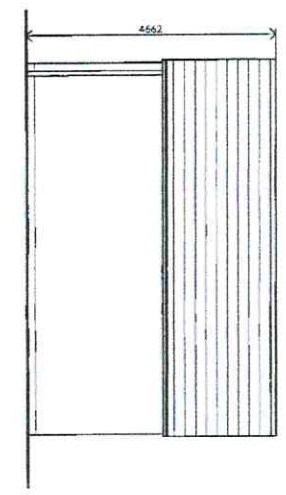




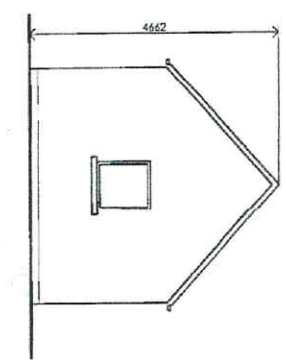
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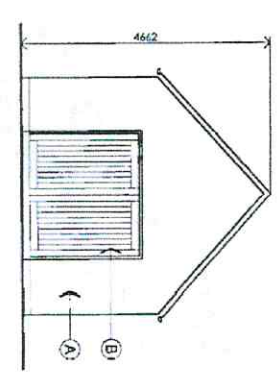
Section



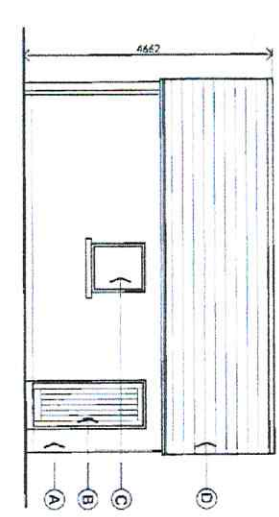
Side Elevation



Rear Elevation

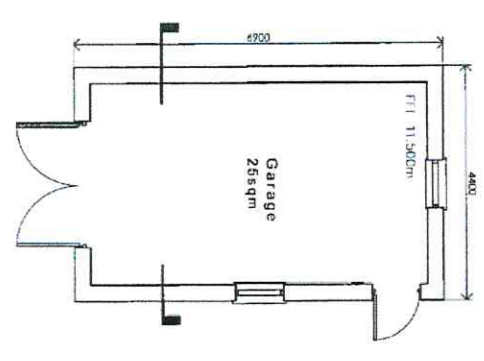


Front Elevation



Side Elevation

- A. Render
- B. Hardwood door
- C. Double glazed window
- D. Slated roof



Plan

Project:	Mulcair Drive	Date:	24 May '17
Address:	Mulcair Drive, Amidecity, Co. Limerick	Scale:	1:100
Drawing No:	Garages 1, 2 & 3 MAY 2017	Stage:	Planning
Client:	Mr. Eamon Cosgrove	Sheet No:	107
Drawn by:	K. Flanagan, 31 Lansdowne Hall, Limerick	Revision:	
	P: 087-8807752		

REVISION	APPROVED	DATE	BY

## Site layout plan

Area Schedule	Site area	Existing cottage	Site 1 area	Proposed dwelling	Site 2 area	Proposed House 1	Proposed House 2
	0.3424 / 0.84 acres	493sqm / 527sqft	0.0736 / 0.18 acres	209.5sqm / 2,254sqft	0.1094 / 0.27acres	121sqm / 1,283sqft	0.0924 / 0.2 acres

project:	Mulcair Drive	date:	19 Sept '17
address:	Mulcair Drive, Annacotty, Co. Limerick	number:	1:250
drawing title:	Proposed Site Layout Plan	stage:	Planning
client:	Mr. Eamon Cosgrove	sheet no.:	103
drawn by:	K. Flanagan, 31 Lansdowne Hall, Limerick	revision:	A
	P. 037 887752		



As Table 10.5 American County Development  
Plan 2010-2016  
Requirement  
2 no. parking space per 4 bedroom dwelling  
1 no. visitor space per 3 no. dwellings  
Total 7 no. spaces  
2 no. spaces per dwelling  
1 no. visitor space per dwelling  
Total 5 no. spaces  
All parking spaces min. 5x7.5m

Fagus Sylvatica  
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 existing bedrock  
 a) where  
 a) where

[illegible]

Diagram illustrating the proposed concrete block wall construction. The wall is 600m high, 2m thick, and 2m high. It is constructed from concrete block with a 2m high concrete capping and a 2m high railing over. The wall is located on a 10m wide road. The diagram also shows a 10m wide road and a 10m wide road. A location site notice is shown in the top left corner.

Roof section

Roof attached to exterior wall

Chimney

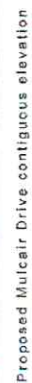
Gable end

12/12

NOTES:



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MADE WITHOUT ANY OTHER CONCEPTS.  
THE DRAWING DESIGN IS THE CONCEPT OF THE ARCHITECT AND MAY HAVE BE  
MADE WITHOUT ANY OTHER CONCEPTS.  
THE DRAWING DESIGN IS THE CONCEPT OF THE ARCHITECT AND MAY HAVE BE  
MADE WITHOUT ANY OTHER CONCEPTS.



Proposed new 800m high concrete block wall with concrete capping and tender to roadside with piers at 6m centers

No alterations to existing entrance

No alteration to adjoining boundary walls, piers or entrance.

Adjoining property

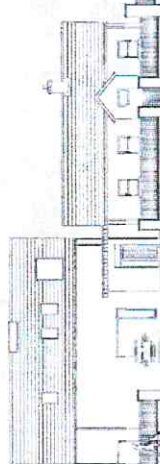
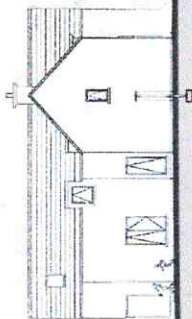
Adjoining property

Car park of adjoining rugby grounds

### Adjoining



## Section C-C



Mukcoir Drive



## Section B-B

There are a few things that you should know about the way that the system works. It is not a simple matter of just putting in a number and getting a result. The system is designed to be used in a way that is consistent with the way that the system is used in the real world. This means that the system is designed to be used in a way that is consistent with the way that the system is used in the real world.

client:	Mr. Eamon Cosgrove	sheet no.	2	revision	
drawing title:	Site sections sheet 1	scale	1:200	Planning	
locations:	Mulcair Drive	date	24 May 17		
project:	Mulcair Drive, Annacotty, Co. Limerick				
ENTER	ASSESSMENT				

Adjoining property

Subject property

40m from existing dwelling to proposed

Existing Dwelling

Existing 4m high Prunus laurocerasus (laurels) screening

Field of vision from first floor

Proposed dwelling

4000

FFL 11.500m

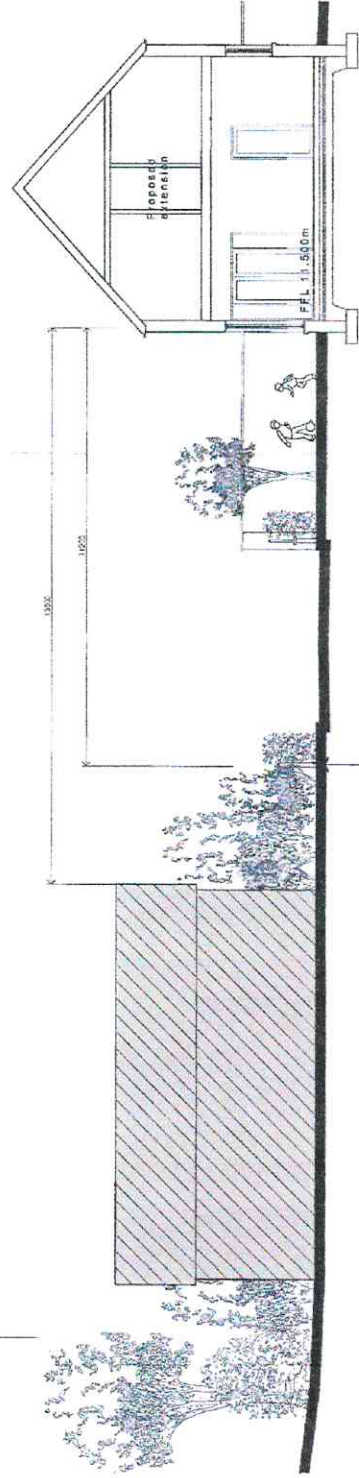
New 1m high timber post and wire fence to be erected on applicant's side of boundary. Temporary wire mesh security fence to be removed upon completion of proposed works

Section D-D

Adjoining property

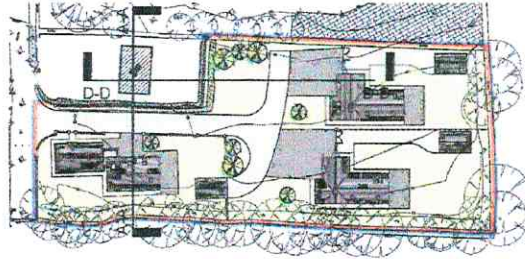
Adjoining property

Subject property



New 1m high timber post and wire fence to be erected on applicant's side of boundary. Temporary wire mesh security fence to be removed upon completion of proposed works

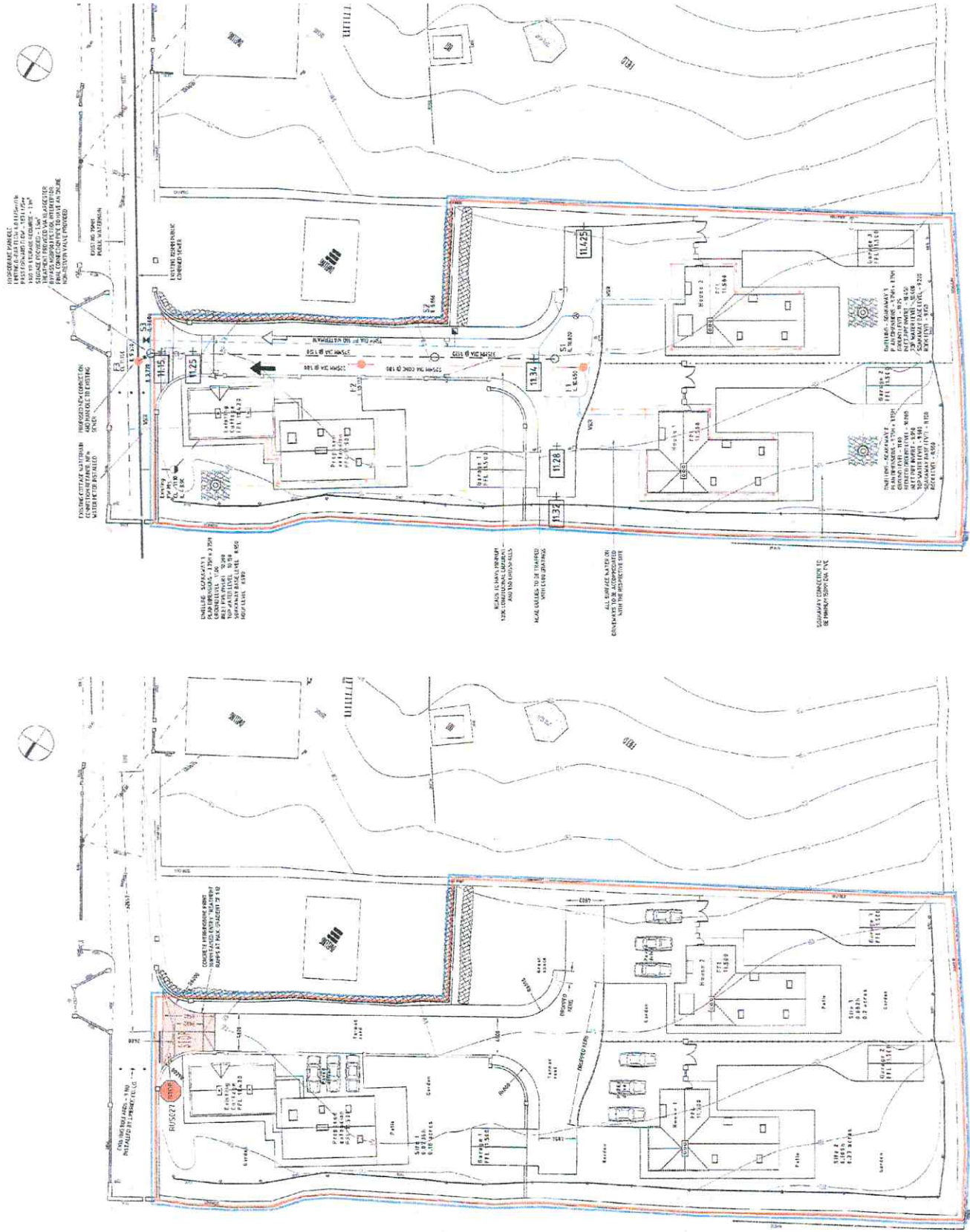
Section A-A



Keyplan

project:	Mulcair Drive
address:	Mulcair Drive, Annacotty, Co. Limerick
drawing title:	Site sections sheet 2
client:	Mr. Eamon Cosgrove
drawn by:	K. Heneghan, 31 Lansdowne Hall, Limerick
date:	23 May 17
scale:	1:100
sheet no.:	109
total no. sheets:	109





## ROADS LAYOUT

SCALE 1/8"=1'-0"

WATER SERVICES LAYOUT

[illegible]

### ROADS LEGEND

PROPOSED MAIN LINE  
PROPOSED CENTRAL LINE  
PROPOSED RIGHT LINE  
PROPOSED ROAD NO.  
PROPOSED ROAD LEVEL  
PROPOSED PAVEMENT TYPE  
NEW SIDE DITCH (7' x 3'  
LANTERN ON STEEL C  
WITH 1/2" OUTSIDE AC  
ROAD GULLY - 18" x 18" x 18"

TABLE PAWING AT CHASSABOCTZ  
 1998-1999

### DRAINAGE LEGEND

PROCESSED CONTAINS GREASE & WAXES

EXPLORING POLA SEWERS & TRAINING

FOR THE STORM SERVICES & HAZARDOUS

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ISSUES

PRIVATE STOCK CO. INC.

PROPOSED ACTION LEVEL

### DISCUSSION

with 100% sensitivity.

WATER MAIN LEAKS

100% PROTECTION  
 100% PROTECTION  
 100% PROTECTION

FILE # YORANT  
THE MUSE

WITH A TARGET MARKET DEMOGRAPHIC

Index	Page	Subject
1	1	Mathematics
2	2	Science
3	3	History
4	4	Geography
5	5	Language
6	6	Art
7	7	Music
8	8	Physical Education
9	9	Health
10	10	Environmental Studies
11	11	Information Technology
12	12	Foreign Languages
13	13	Social Sciences
14	14	Interdisciplinary Studies
15	15	Liberal Arts
16	16	Professional Studies
17	17	Business Administration
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88	88	Marxism
89	89	Capitalism
90	90	Socialism
91	91	Communism
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93	93	Climate Change
94	94	Sustainability
95	95	Renewable Energy
96	96	Green Building
97	97	Smart Cities
98	98	Urban Planning
99	99	Transportation
100	100	Infrastructure

(b)(3)

EAMUN LLC

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PHAW Co

11 Jackson Street, London, W1A 3AB, UK

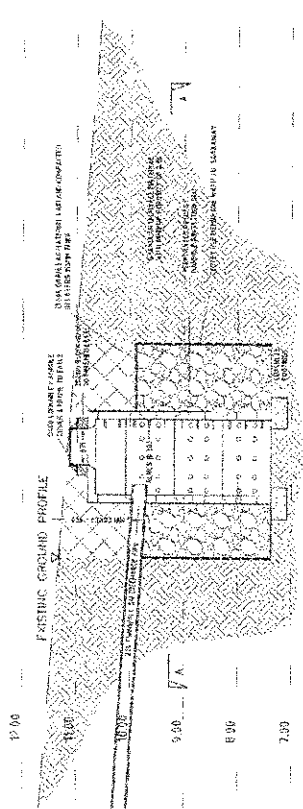
PROPOSED DWELLINGS

MULLAIR DRIVE, ANNAL  
CITY 14 VOLT

ROADS AND MARKINGS

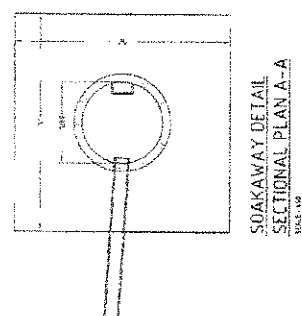
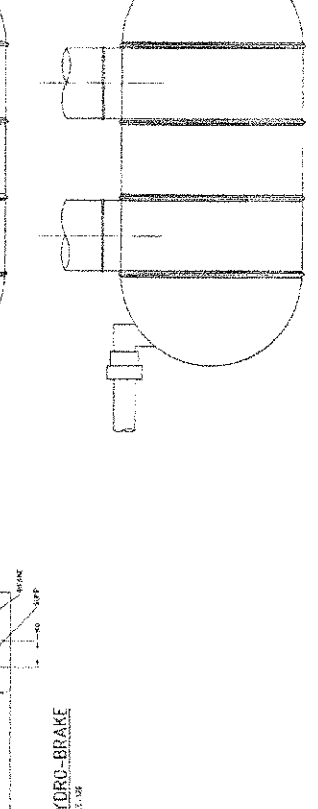
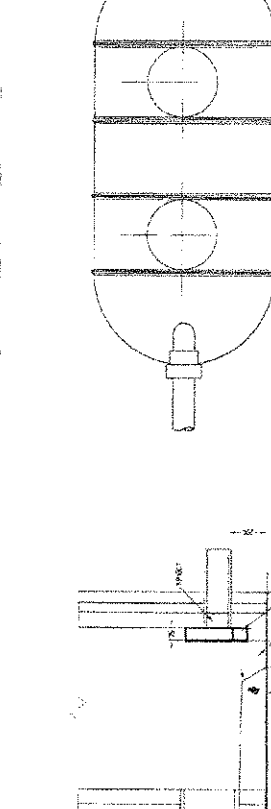
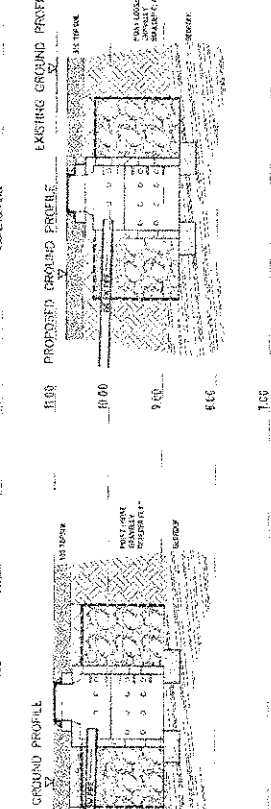
FOR	1758
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FORM	UNIT/UNIT
Amount	Amount



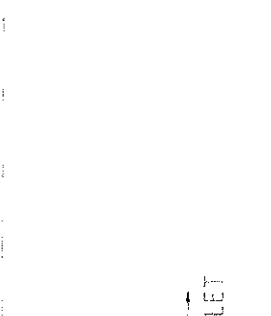
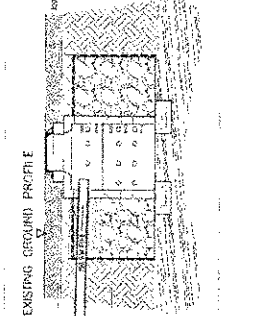
EXISTING SOAKAWAY 1  
1.00m DIA  
1.00m DEPTH  
1.00m WIDE CONCRETE BASE  
1.00m WIDE CONCRETE WALL  
1.00m WIDE CONCRETE CURB

PROPOSED SOAKAWAY 2  
1.00m DIA  
1.00m DEPTH  
1.00m WIDE CONCRETE BASE  
1.00m WIDE CONCRETE WALL  
1.00m WIDE CONCRETE CURB



EXISTING SOAKAWAY 1  
1.00m DIA  
1.00m DEPTH  
1.00m WIDE CONCRETE BASE  
1.00m WIDE CONCRETE WALL  
1.00m WIDE CONCRETE CURB

PROPOSED SOAKAWAY 2  
1.00m DIA  
1.00m DEPTH  
1.00m WIDE CONCRETE BASE  
1.00m WIDE CONCRETE WALL  
1.00m WIDE CONCRETE CURB



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	SOAKAWAY DETAIL SECTION	1	NO.	100.00	100.00
2	EXISTING GROUND PROFILE	1	NO.	100.00	100.00
3	PROPOSED GROUND PROFILE	1	NO.	100.00	100.00
4	HYDRO-BRAKE	1	NO.	100.00	100.00
5	OUTLET	1	NO.	100.00	100.00
6	SOAKAWAY DETAIL SECTION PLAN A-A	1	NO.	100.00	100.00
7	EXISTING SOAKAWAY 1	1	NO.	100.00	100.00
8	PROPOSED SOAKAWAY 2	1	NO.	100.00	100.00
9	EXISTING GROUND PROFILE	1	NO.	100.00	100.00
10	PROPOSED GROUND PROFILE	1	NO.	100.00	100.00
11	HYDRO-BRAKE	1	NO.	100.00	100.00
12	OUTLET	1	NO.	100.00	100.00

ROAD 1  
SCALE 1:100

107-48

107-48

107-48

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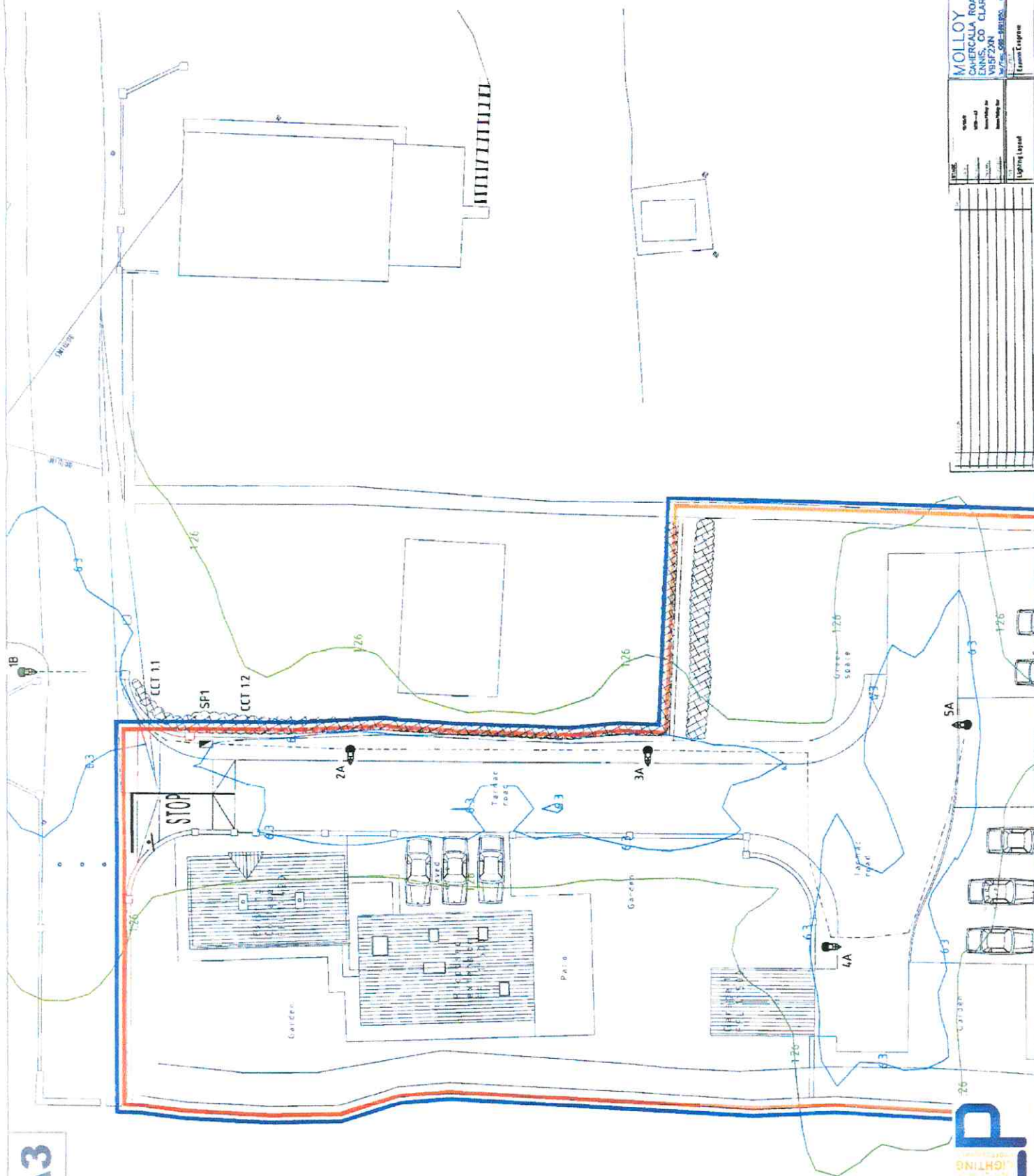




Key

- Luminaire A Column
- Luminaire B Column
- Photometric Centre
- SDmm Red Out

Results	
Eav	6.97
Emin	2.23
E <sub>max</sub>	11.59
Emin/E <sub>max</sub>	0.19
Emin/Eav	0.32

[illegible]

MOLLOY CONSULTING ENGINEERS

CAHERCALLA ROAD,  
ENNIS, CO CLARE.  
V95F2XN

Tel/Fax: 998-9491993 Mob: 997-7283081 E-mail: jorast@nabon.org.pl

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Uppan Kaspava

### Lighting Layout

PL 1772