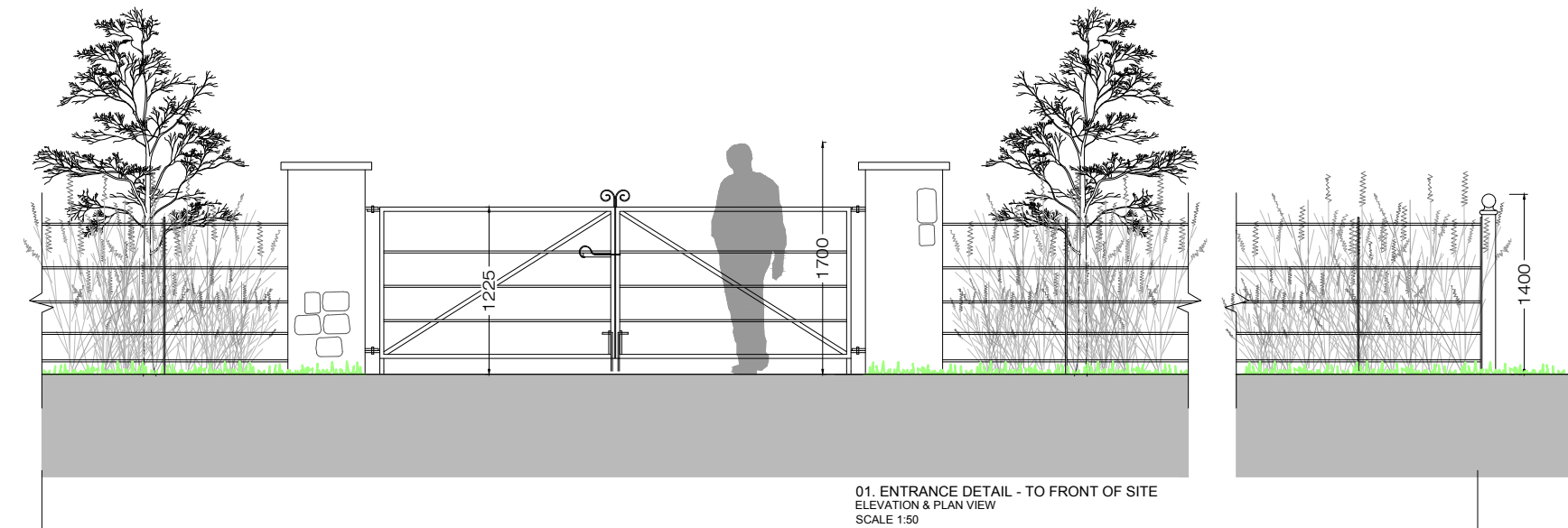


PLEASE NOTE THAT THIS IS A PLANNING DRAWING ONLY AND IS THEREFORE LIMITED IN ITS CAPACITY TO CONVEY THE TOTAL INFORMATION, DETAILS & SPECIFICATIONS NECESSARY TO COMPLETE THE WORKS. ANY WORK CARRIED OUT THAT IS NOT SPECIFIED OR DETAILED HERE WILL BE THE RESPONSIBILITY OF THE PERSONS CARRYING THEM OUT. IF ANY SITUATION ARISES WHICH WOULD CAUSE A CONTRAVENTION OF THE BUILDING REGULATIONS, THEN THE ARCHITECT SHOULD BE CONSULTED, OTHERWISE THE ARCHITECT CANNOT BE HELD RESPONSIBLE.

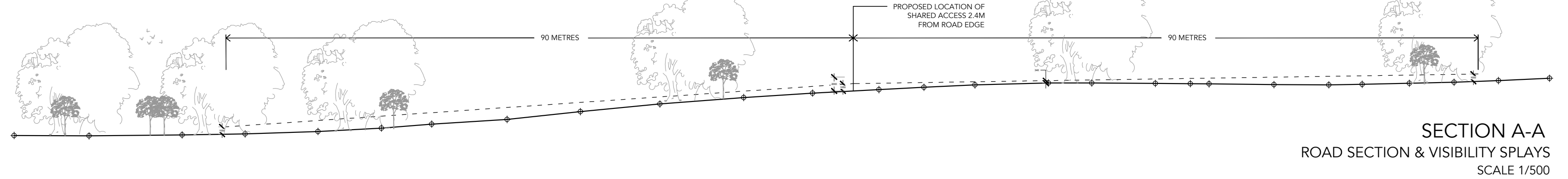
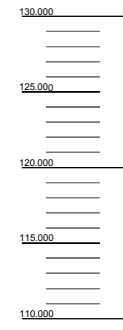
ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS WHETHER DETAILED ON THIS DRAWING OR NOT.



SIGHT DISTANCES OF 90 METRES IN EACH DIRECTION TO BE PROVIDED FROM A POINT IN THE ENTRANCE 2.4 METRES FROM THE ROAD EDGE AND 1.05 METRE ABOVE GROUND LEVEL. THE AREA WITHIN THE VISIBILITY SPLAYS SHALL BE CLEARED TO PROVIDE A LEVEL SURFACE NO HIGHER THAN 250MM ABOVE THE LEVEL OF THE ADJOINING CARRIAGEWAY AND SHALL BE RETAINED AND KEPT CLEAR THEREAFTER.

NEW AND REPLACEMENT HEDGEROW PLANTING SHALL INCORPORATE NATIVE HEDGEROW SPECIES AS TO ULTIMATELY FORM A NATURALISED HEDGEROW SIMILAR TO EXISTING IN THE AREA. SPECIES SHALL BE WHITEHORN, BLACKHORN, HAZEL AND HOLLY. ONLY REMOVE THE APPLICABLE PORTION OF THE ROADSIDE HEDGEROW, WHICH MUST BE LOWERED OR UPROOTED TO PROVIDE ADEQUATE SIGHT DISTANCES.

ENTRANCE TO FORM BELLMOUTH OF 5.0 METRES WITH EDGE OF NEW BOUNDARY AND THE ENTRANCE GATES SHALL OPEN INWARDS ONLY. RECESSED ENTRANCE SHALL BE OF SUFFICIENT DIMENSIONS TO ALLOW A STATIONARY VEHICLE TO WAIT OFF THE PUBLIC ROAD. EXISTING ROAD BOUNDARY HEDGE TO BE REMOVED TO FORM A NEW ENTRANCE WITH ASSOCIATED SLAP DASH RENDERED WALLS & STONE PIERS SET BACK TO PROVIDE SIGHT DISTANCES AS SHOWN. HEDGEROW OF NATIVE SPECIES TO NEW SIGHT LINES. TRANSPLANT EXISTING HEDGEROW AND TREES WHERE POSSIBLE. STORM DRAIN TO BE LOCATED AT ENTRANCE TO PREVENT ANY SURFACE WATER ENTERING ONTO PUBLIC ROAD.



SECTION 2.1
SCALE 1/250

CUT
FILL

SECTION 2.2
SCALE 1/250

CUT
FILL

SECTION A-A
ROAD SECTION & VISIBILITY SPLAYS
SCALE 1/500

DRAWING KEY

CLOGHAN TD, ANNYALLA,
CO. MONAGHAN

Site boundary outlined in red
OSI Map Ref: 678817, 823970

Site Plan 1:500
Site Area - 5426 sq.m / .5426 ha / 1.34 acres

- Site Boundary
- Other lands within applicants ownership
- Existing Buildings to be demolished
- Proposed storm drainage
- Proposed foul drainage
- Proposed Soak pit
- Existing levels
- Proposed levels
- Finished Floor Level
- Patio / Cobbled Area
- Existing Hedgerow to be removed
- Proposed Boundary Planting of native species
- Existing tree to be retained
- Existing tree to be removed
- Proposed Hedge of native species
- Proposed Low Level Planting
- Proposed Grassed Area
- Proposed Coloured Gravel
- Proposed Footpath

ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.

NO WORKS SHOULD BE CARRIED OUT WITHOUT PRIOR CONSENT FROM THE LOCAL PLANNING AUTHORITY.

PLANNING ONLY

McGUIGAN ARCHITECTS

MIRIA RIBA Chartered Architects
PassivHaus Designers
Energy Consultants

6 Plantation Terrace
Monaghan
Co. Monaghan

+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project: PROPOSED DWELLING

Address: CLOGHAN TD ANNYALLA CO. MONAGHAN

Client: G & A MULLIGAN

Scale: 1/500 & AS NOTED

Format: A1

Status: PLANNING

Drawn By: SG

Start Date: JUNE 2020

Drawing Title: SITE LAYOUT & SECTIONS

Drawing Number: MGA-19-0146-PL201

All dimensions to be taken on site - no dimensions to be scaled from this drawing. This drawing to be read in conjunction with all other relevant drawings, specifications etc.

Any discrepancies to be reported to the Architect for clarification. This drawing may not be copied or reproduced without written consent.

© copyright of mcguigan architects ltd



FRONT ELEVATION



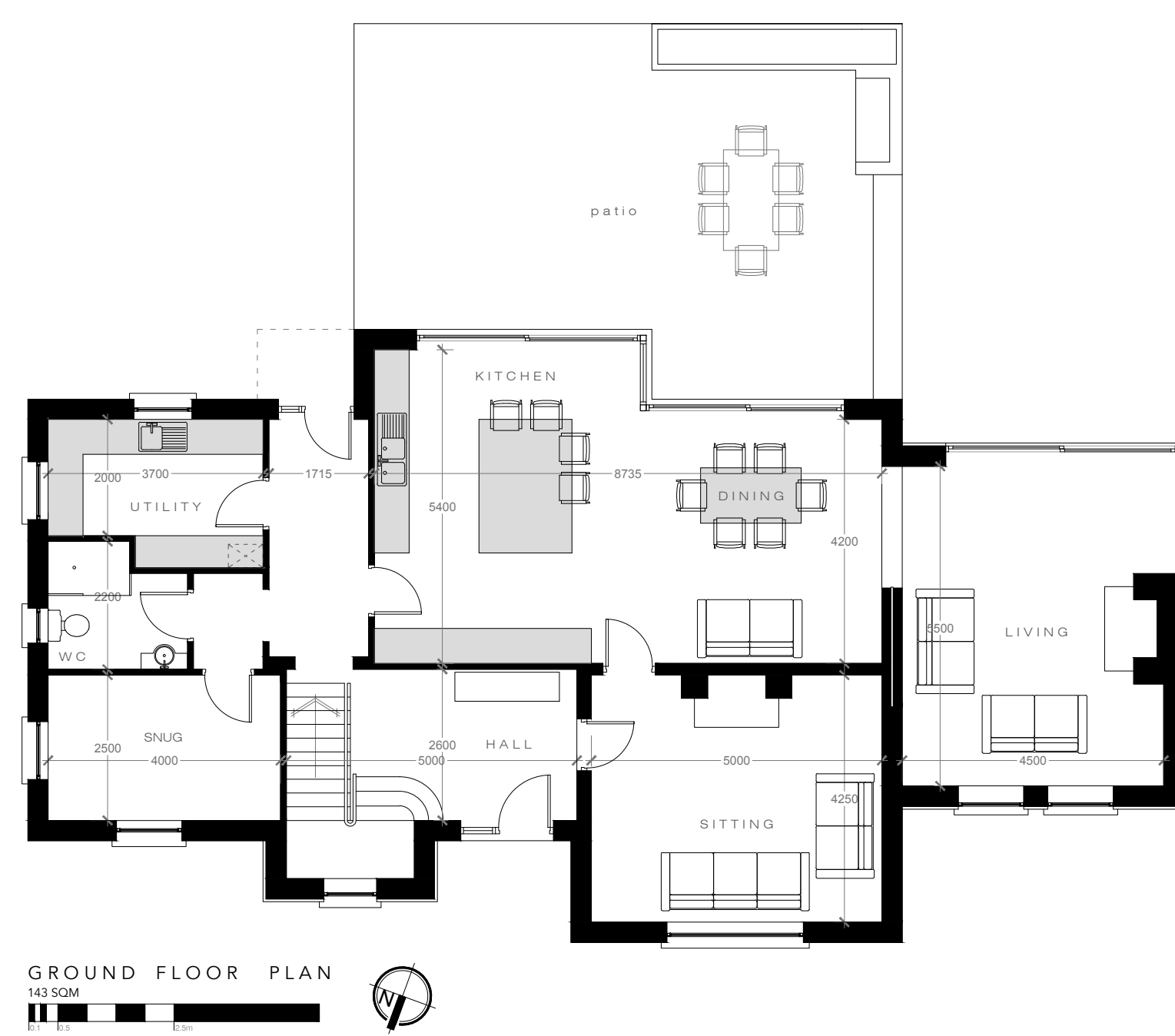
SIDE ELEVATION



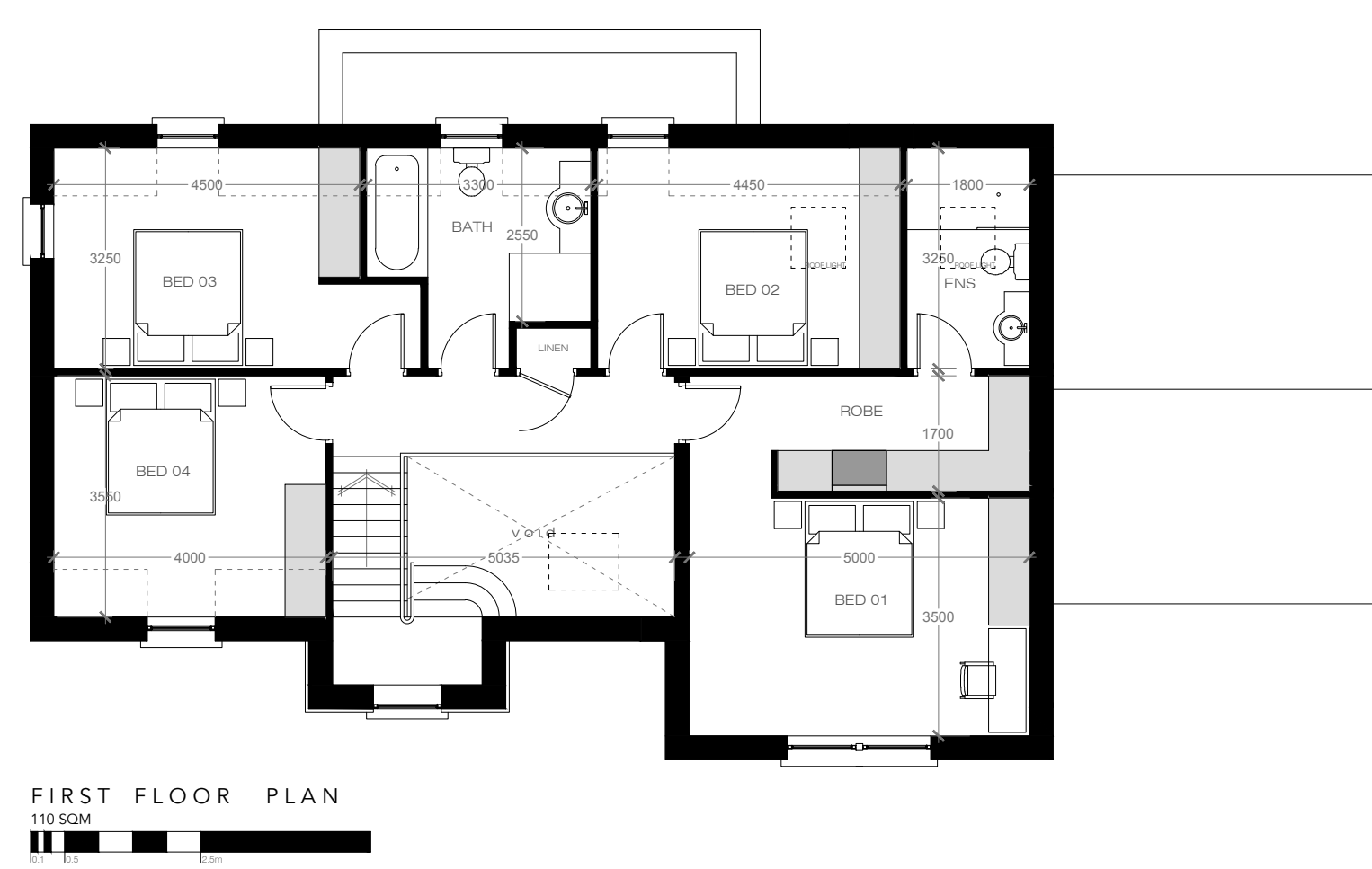
REAR ELEVATION



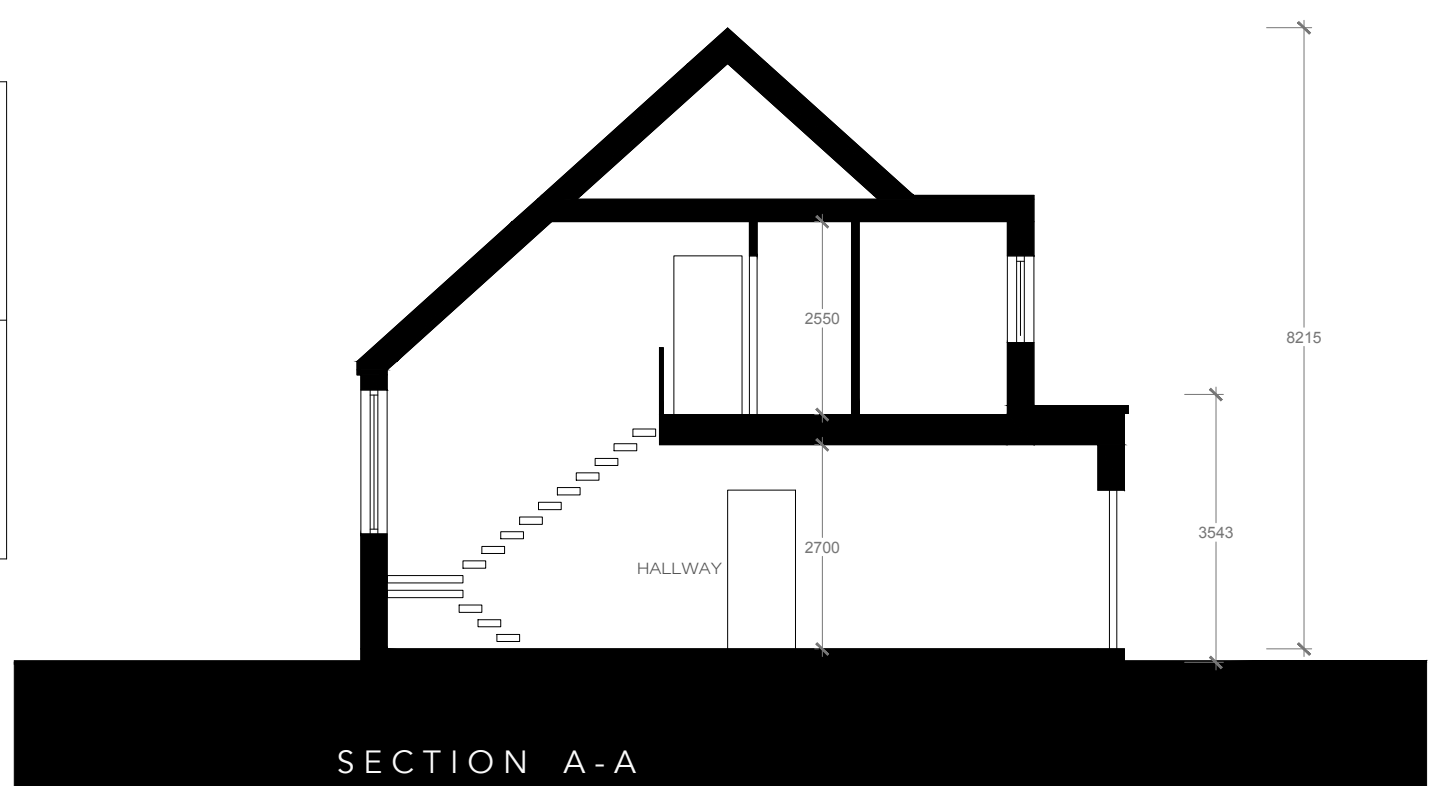
SIDE ELEVATION



GROUND FLOOR PLAN
1:100
10m



FIRST FLOOR PLAN
1:100
10m



SECTION A-A

DRAWING KEY

PLEASE NOTE THAT THIS IS A PLANNING DRAWING ONLY AND IS THEREFORE LIMITED IN ITS CAPACITY TO CONVEY THE TOTAL INFORMATION, DETAILS & SPECIFICATIONS NECESSARY TO COMPLETE THE WORKS. ANY WORK CARRIED OUT THAT IS NOT SPECIFIED OR DETAILED HERE WILL BE THE RESPONSIBILITY OF THE PERSONS CARRYING THEM OUT. IF ANY SITUATION ARISES WHICH WOULD CAUSE A CONTRAVENTION OF THE BUILDING REGULATIONS, THEN THE ARCHITECT SHOULD BE CONSULTED, OTHERWISE THE ARCHITECT CANNOT BE HELD RESPONSIBLE.

ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS WHETHER DETAILED ON THIS DRAWING OR NOT.

SCHEDULE OF FINISHES:

EXTERNAL WALLS	SMOOTH RENDER PAINTED NATURAL STONE TO SELECT WALLS
WINDOWS	PVC
DOORS	COMPOSITE DOORS, COLOUR TBC
ILLS	PRECAST SLIMLINE CONCRETE
ROOF	NATURAL SLATE
RWG	EXTRUDED ALUMINIUM

NOTES

ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.
ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.
NO WORKS SHOULD BE CARRIED OUT WITHOUT PRIOR CONSENT FROM THE LOCAL PLANNING AUTHORITY.

PLANNING ONLY

McGUIGAN ARCHITECTS

MRIA I RIBA Chartered Architects
PassivHaus Designers
Energy Consultants

6 Plantation Terrace
Monaghan
Co. Monaghan



+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project PROPOSED DWELLING
Address CLOGHAN TD
ANNYALLA
CO. MONAGHAN
Client G & A MULLIGAN
Scale 1/100
Format A1
Status PLANNING
Drawn By SG
Start Date JUNE 2020
Drawing Title PLANS, ELEVATIONS &
SECTION
Drawing Number MGA-19-0146-PL202

All dimensions to be taken on site - no dimensions to be scaled from this drawing. This drawing to be read in conjunction with all other relevant drawings, specifications etc.
Any discrepancies to be reported to the Architect for clarification. This drawing may not be copied or reproduced without written consent.



LANDSCAPE DESCRIPTION

THE INTENDED LANDSCAPE DESIGN OF THIS SITE, COMBINED WITH THE HOUSE DESIGN AND EXISTING SITE FEATURES WILL ALLOW FOR THE PROPOSED DEVELOPMENT TO BLEND INTO THE SURROUNDING NATURAL LANDSCAPE. THE SOFT LANDSCAPE PROPOSALS WILL ENSURE THE DEVELOPMENT IS SUFFICIENTLY SCREENED.

TREES SCHEDULE

PROPOSED TREES TO BE SPECIES AS NOTED GIRTH 14 - 16					
SORBUS ARIA 'LUTESCENS'	WHITEBEAM	(W)	SIZE_10 / 12FT	QTY_14no.	
FAGUS SYLVATICA	BEECH	(B)	SIZE_10 / 12FT	QTY_5no.	
BETULA PENDULA	BIRCH	(M)	SIZE_10 / 12FT	QTY_5no.	
ACER PSEUDOPLATANUS	SYCAMORE	(C)	SIZE_10 / 12FT	QTY_4no.	
FRAXINUS EXCELSIOR	ASH	(A)	SIZE_10 / 12FT	QTY_6no.	

STANDARD TREE PLANTING DETAIL NTS

TREE TIES
TREE TIES TO BE ADJUSTABLE SOLID RUBBER SPACER HOLLOWED ON BOTH SIDES WITH RUBBER COVERED CANVAS STRAP 25mm WIDE 1no. PER. TREE
TIE FIXING NAILS
FIXING NAILS TO BE GALVANISED & NOT LESS THAN 25mm LONG WITH 10mm DIA. HEADS
TREE STAKE
75mm DIA. x 1500mm LONG LARCH PRESSURE TREATED STAKE

TREES WHEN PLANTED SHOULD BE AT THE SAME DEPTH AT WHICH IT HAS BEEN GROWN AT THE NURSERY, AS INDICATED BY THE SOIL MARK ON THE STEM

SOIL LEVEL OF TREE PIT TO BE FINISHED SLIGHTLY HIGHER THAN THE THE SURROUNDING GROUND AND THE 600mm DIA. BASE SHALL BE SPRAYED WITH PRE-EMERGENT HERBICIDE

ALL BARE ROOT TREES SHALL BE DIPPED IN 'ALGINURE ROOT DIP IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS PRIOR TO PLANTING

TREE PITS
EXCAVATE PIT WITH SLIGHTLY RAISED CENTRE. RETAIN TOPSOIL FOR REUSE WHERE SPECIFIED. SIZE TO BE 600x600x600mm DEEP BACKFILLED WITH GOOD QUALITY TOPSOIL TOGETHER WITH WELL ROTTED FARMYARD MANURE AT 20 LITRES PER PIT AND 'SLOGRO' AT 35g/CUBIC METRE.
BREAK UP BOTTOM OF PIT TO A DEPTH OF 150mm AND SCARIFY SIDES

HEDGEROW SPECIES

Crataegus monogyna(whitethorn)	0.3m
Rosa rugosa	0.3m
Elaeagnus x ebbingei	0.3m
Pyracantha 'Orange Glow'	0.3m
Prunus spinosa(blackthorn)	0.3m
Berberis x stenophylla	0.3m
Chaenomeles x superba	0.3m
Escallonia 'Donard Seedling'	0.3m
Viburnum tinus 'Eves Pride'	0.3m
Salix caprea	0.3m
Ilex aquifolium(holly)	0.3m
Alnus glutinosa	0.3m
Corylus avellana (Hazel)	0.3m

PLANT IN GROUPS OF BETWEEN 15 - 30 PLANTS
ALL HEDGING AREAS ARE TO BE FREE FROM WEEDS AND CULTIVATED TO A MINIMUM DEPTH OF 300MM PRIOR TO PLANTING MULCH DEPTH IS TO BE A MINIMUM OF 50MM

NEW AND REPLACEMENT HEDGEROW PLANTING SHALL INCORPORATE NATIVE HEDGEROW SPECIES AS TO ULTIMATELY FORM A NATURALISED HEDGEROW SIMILAR TO EXISTING IN THE AREA. SPECIES SHALL BE WHITEHORN, BLACKTHORN, HAZEL AND HOLLY. ONLY REMOVE THE APPLICABLE PORTION OF THE ROADSIDE HEDGEROW, WHICH MUST BE LOWERED OR UPROOTED TO PROVIDE ADEQUATE SIGHT DISTANCES.

DRAWING KEY

CLOGHAN TD, ANNYALLA, CO.MONAGHAN

Site boundary outlined in red
OSi Map Ref: 678817, 823970

Site Plan 1:500
Site Area - 6785 sq.m / .6785 ha / 1.68 acres

- Site Boundary
- Other lands within applicants ownership
- Existing Buildings to be demolished
- Proposed storm drainage
- Proposed foul drainage
- Proposed Soak pit
- Existing levels
- Proposed levels
- Finished Floor Level
- Patio / Cobble Area
- Existing Hedgerow to be removed
- Proposed Boundary Planting of native species
- Existing tree to be retained
- Existing tree to be removed
- Proposed Hedge of native species
- Proposed Low Level Planting
- Proposed Grassed Area
- Proposed Coloured Gravel
- Proposed Footpath

NOTES

ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.

NO WORKS SHOULD BE CARRIED OUT WITHOUT PRIOR CONSENT FROM THE LOCAL PLANNING AUTHORITY.

PLANNING ONLY

McGUIGAN ARCHITECTS

MRIA RIBA Chartered Architects
PassivHaus Designers
Energy Consultants



+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project PROPOSED DWELLING

Address CLOGHAN TD
ANNYALLA
CO.MONAGHAN

Client G & A MULLIGAN

Scale 1/500 & AS NOTED

Format A1

Status OUTLINE PERMISSION

Drawn By SG

Start Date JUNE 2020

Drawing Title SITE LAYOUT, SECTIONS &
ENTRANCE DETAILS

Drawing Number MGA-19-0146-PL301

All dimensions to be taken on site - no dimensions to be scaled from this drawing. This drawing to be read in conjunction with all other relevant drawings, specifications etc.
Any discrepancies to be reported to the Architect for clarification. This drawing may not be copied or reproduced without written consent.



FRONT ELEVATION



SIDE ELEVATION



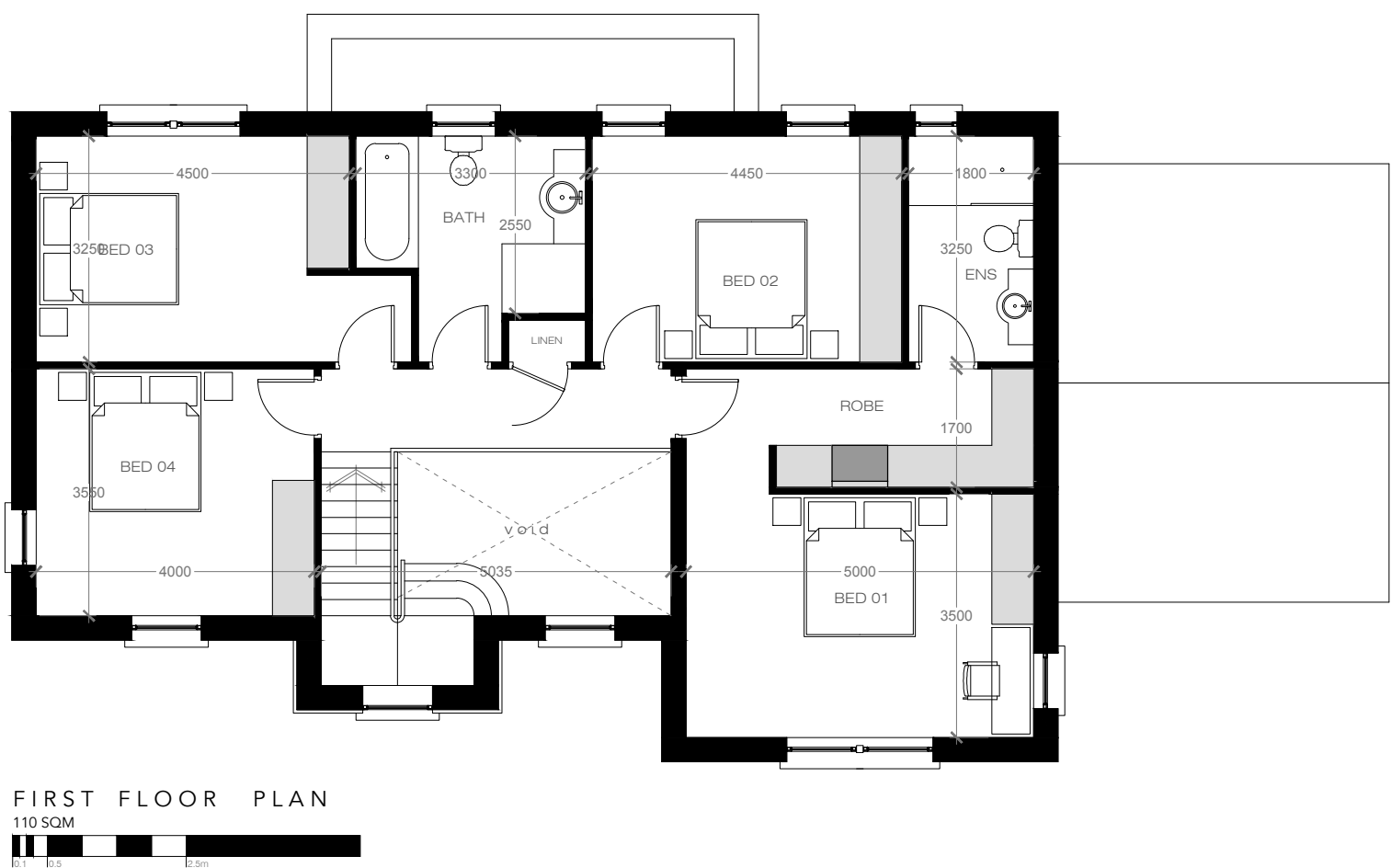
REAR ELEVATION



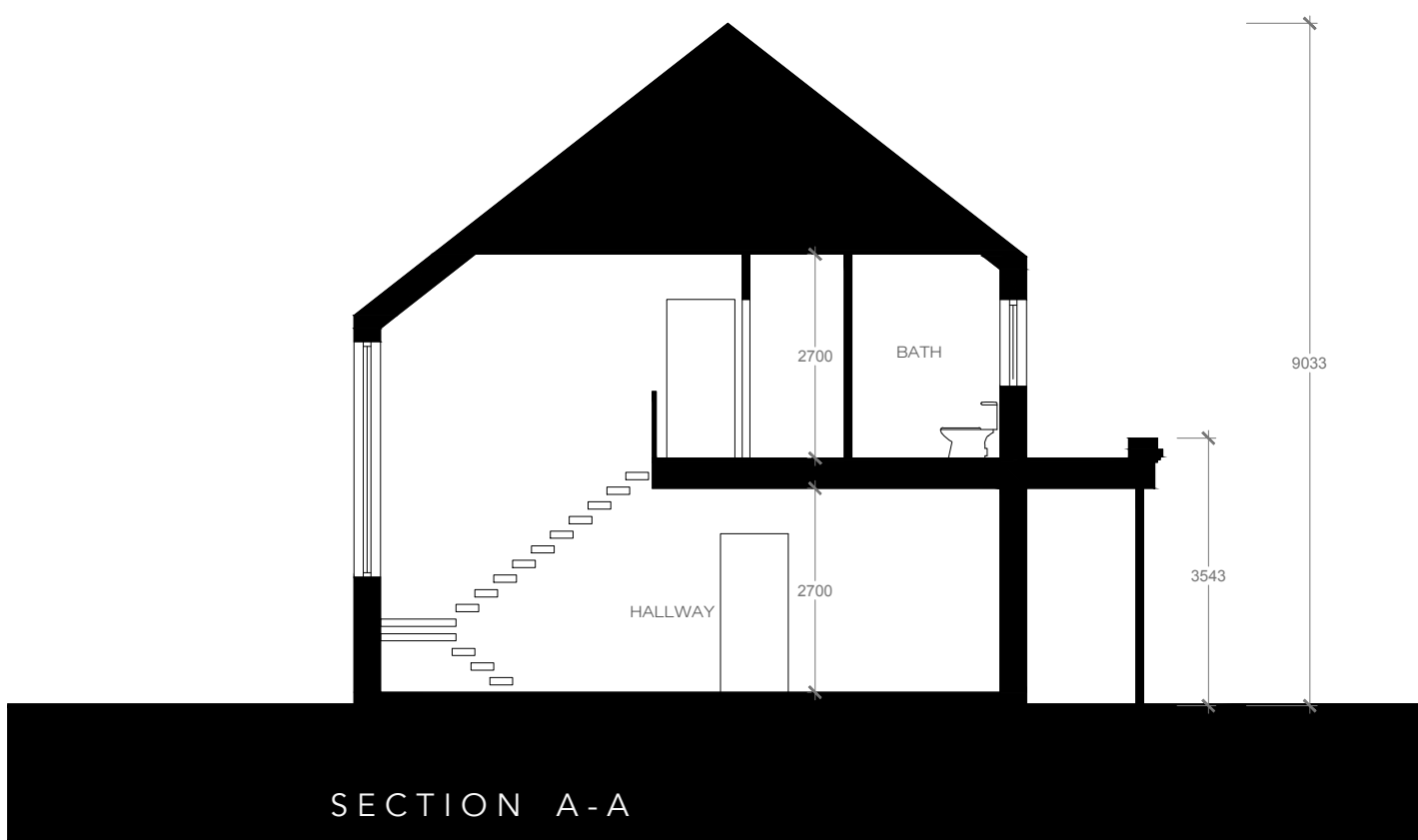
SIDE ELEVATION



GROUND FLOOR PLAN
143 SQM



FIRST FLOOR PLAN
110 SQM



SECTION A-A

DRAWING KEY

PLEASE NOTE THAT THIS IS A PLANNING DRAWING ONLY AND IS THEREFORE LIMITED IN ITS CAPACITY TO CONVEY THE TOTAL INFORMATION, DETAILS & SPECIFICATIONS NECESSARY TO COMPLETE THE WORKS. ANY WORK CARRIED OUT THAT IS NOT SPECIFIED OR DETAILED HERE WILL BE THE RESPONSIBILITY OF THE PERSONS CARRYING THEM OUT. IF ANY SITUATION ARISES WHICH WOULD CAUSE A CONTRAVENTION OF THE BUILDING REGULATIONS, THEN THE ARCHITECT SHOULD BE CONSULTED, OTHERWISE THE ARCHITECT CANNOT BE HELD RESPONSIBLE.

ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS WHETHER DETAILED ON THIS DRAWING OR NOT.

SCHEDULE OF FINISHES:

EXTERNAL WALLS SMOOTH RENDER PAINTED

WINDOWS	PVC
DOORS	COMPOSITE DOORS, COLOUR TBC
CHIMNEYS	PRECAST CONCRETE
ROOF	NATURAL SLATE
RWGS	EXTRUDED ALUMINIUM

NOTES

ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.

NO WORKS SHOULD BE CARRIED OUT WITHOUT PRIOR CONSENT FROM THE LOCAL PLANNING AUTHORITY.

PLANNING ONLY

McGUIGAN ARCHITECTS

MRIAI RIBA Chartered Architects
PassivHaus Designers
Energy Consultants

6 Plantation Terrace
Monaghan
Co. Monaghan



+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project PROPOSED DWELLING

Address CLOGHAN TD
ANNYALLA
CO. MONAGHAN

Client G & A MULLIGAN

Scale 1/100

Format A1

Status PLANNING

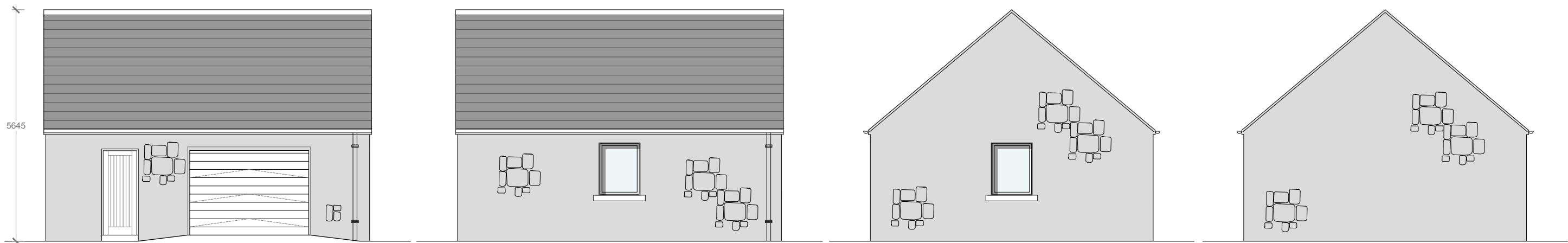
Drawn By SG

Start Date JUNE 2020

Drawing Title PLANS, ELEVATIONS &
SECTION

Drawing Number MGA-19-0146-PL302

All dimensions to be taken on site - no dimensions to be scaled from this drawing. This drawing to be read in conjunction with all other relevant drawings, specifications etc.
Any discrepancies to be reported to the Architect for clarification. This drawing may not be copied or reproduced without written consent.

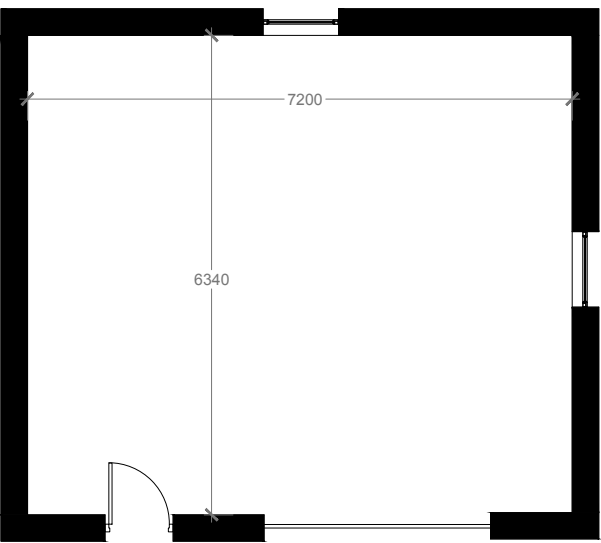


FRONT ELEVATION

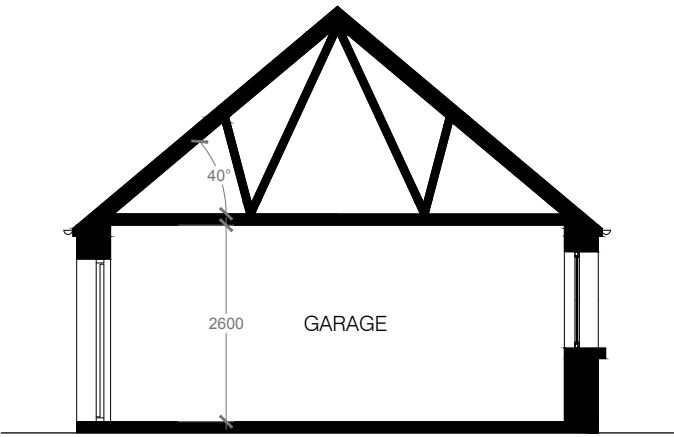
REAR ELEVATION

SIDE ELEVATION

SIDE ELEVATION



FLOOR PLAN
45 SQM



SECTION B - B

SCHEDULE OF FINISHES:

EXTERNAL WALLS	NATURAL STONE
WINDOWS	PVC
DOORS	COMPOSITE DOORS, COLOUR TBC
CILLS	PRECAST CONCRETE
ROOF	NATURAL SLATE
RWG	EXTRUDED ALUMINIUM

PLEASE NOTE THAT THIS IS A PLANNING DRAWING ONLY AND IS THEREFORE LIMITED IN ITS CAPACITY TO CONVEY THE TOTAL INFORMATION, DETAILS & SPECIFICATIONS NECESSARY TO COMPLETE THE WORKS. ANY WORK CARRIED OUT THAT IS NOT SPECIFIED OR DETAILED HERE WILL BE THE RESPONSIBILITY OF THE PERSONS CARRYING THEM OUT.

ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS WHETHER DETAILED ON THIS DRAWING OR NOT.

-	-	-

PLANNING ONLY

McGUIGAN ARCHITECTS



© copyright of mcguigan architects ltd

MRIAI RIBA Chartered Architects
PassivHaus Designers
Energy Consultants

6 Plantation Terrace
Monaghan
Co.Monaghan

+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project | PROPOSED DWELLING

Address | CLOGHAN TD
ANNYALLA
CO. MONAGHAN

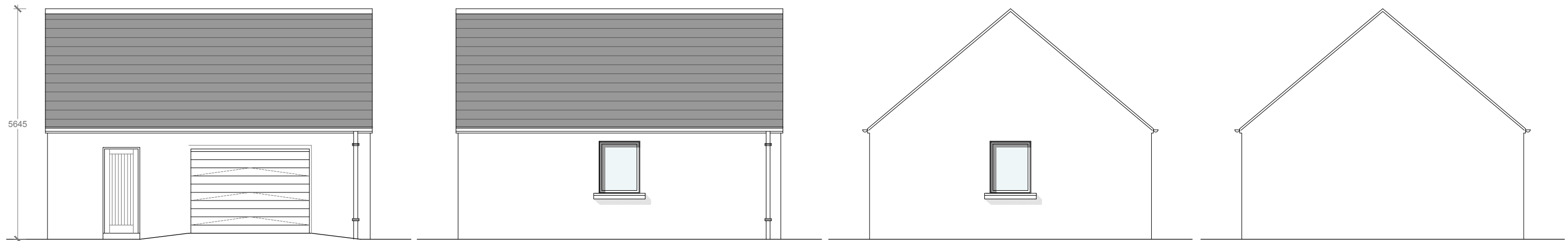
Client | G & A MULLIGAN

Scale | 1:100
Format | A3
Status | PLANNING ONLY
Drawn By | SG
Start Date | JUNE 2020
Drawing Title | GARAGE PLAN, ELEVS & SECTION
Drawing Number | MGA-19-0146-PL203

Notes | ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.

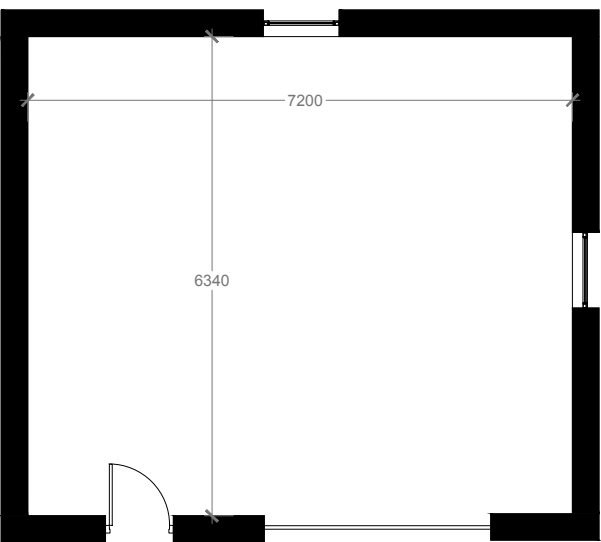


FRONT ELEVATION

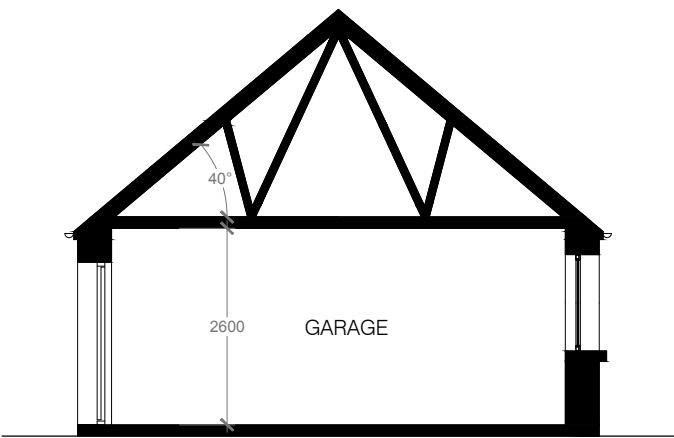
REAR ELEVATION

SIDE ELEVATION

SIDE ELEVATION



FLOOR PLAN
45 SQM



SECTION B - B

SCHEDULE OF FINISHES:

EXTERNAL WALLS	SMOOTH RENDER PAINTED
WINDOWS	PVC
DOORS	COMPOSITE DOORS, COLOUR TBC
CILLS	PRECAST CONCRETE
ROOF	NATURAL SLATE
RWG	EXTRUDED ALUMINIUM

PLEASE NOTE THAT THIS IS A PLANNING DRAWING ONLY AND IS THEREFORE LIMITED IN ITS CAPACITY TO CONVEY THE TOTAL INFORMATION, DETAILS & SPECIFICATIONS NECESSARY TO COMPLETE THE WORKS. ANY WORK CARRIED OUT THAT IS NOT SPECIFIED OR DETAILED HERE WILL BE THE RESPONSIBILITY OF THE PERSONS CARRYING THEM OUT.

ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS WHETHER DETAILED ON THIS DRAWING OR NOT.

-	-	-

PLANNING ONLY

McGUIGAN ARCHITECTS



© copyright of mcguigan architects ltd

MRIAI RIBA Chartered Architects
PassivHaus Designers
Energy Consultants

6 Plantation Terrace
Monaghan
Co.Monaghan

+353 47 77823
info@mcguiganarchitects.com
www.mcguiganarchitects.com

Project | PROPOSED DWELLING

Address | CLOGHAN TD
ANNYALLA
CO. MONAGHAN

Client | G & A MULLIGAN

Scale | 1:100
Format | A3
Status | PLANNING ONLY
Drawn By | SG
Start Date | JUNE 2020
Drawing Title | GARAGE PLAN, ELEVS & SECTION
Drawing Number | MGA-19-0146-PL303

Notes | ALL DIMENSIONS TO BE TAKEN ON SITE - NO DIMENSIONS TO BE SCALED FROM THIS DRAWING.

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS, SPECIFICATIONS ETC.

ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR CLARIFICATION. THIS DRAWING MAY NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN CONSENT.