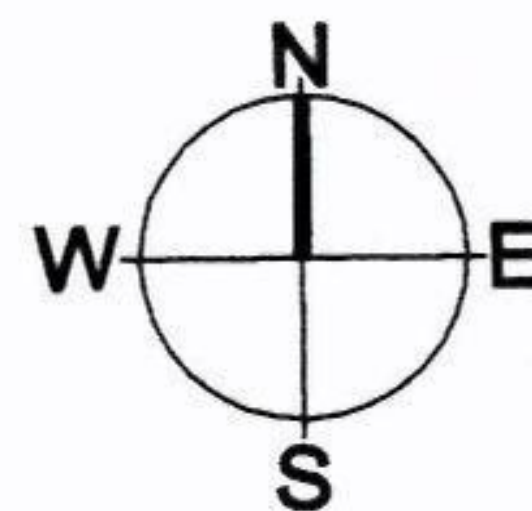


SITE LOCATION MAP  
1:1000



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3392-20  
REVISION DATE = 10-Apr-2013  
SURVEY DATE = 31-Dec-1988

3393-16  
REVISION DATE = 14-May-2013  
SURVEY DATE = 31-Dec-1974  
LEVELLED DATE = 31-Dec-1977

Clip Extent:  
LLX,LLY = 719900,726890  
LRX,LRY = 720133,726890  
ULX,ULY = 719900,727062  
URX,URY = 720133,727062

Projection:  
ITM

ITM Centre Point Co-ordinate:  
X,Y = 720016,726976

Extraction Date:  
15-May-2014



D14A/0604

#### NOTES

DO NOT SCALE - USE FIGURED DIMENSIONS ONLY.  
ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES TO BE HIGHLIGHTED BY CONTRACTOR.  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS AND DRAWINGS.  
ALL LEVELS ARE TO FINISHED LEVELS UNLESS OTHERWISE INDICATED.

#### LEGEND

— INDICATES SITE BOUNDARY

#### PLANNING APPLICATION

revision	description	date
PP.01	issued as planning application	16.09.14

#### GENERAL ARRANGEMENT

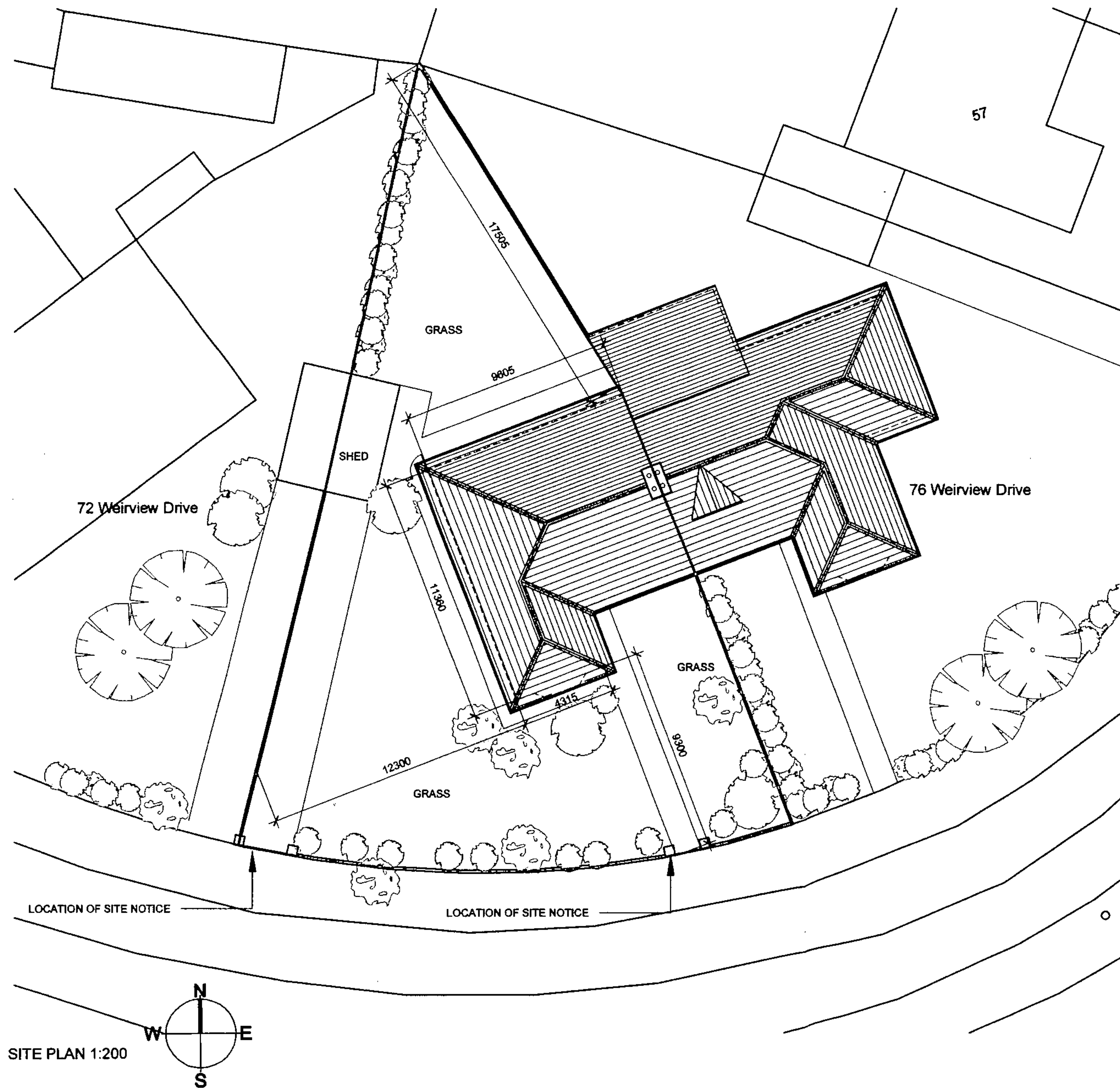
4 phoenix terrace, blackrock, co. dublin

t - 01 210 4821  
e - info@studiomarchitects.ie

project	No. 74 Weirview Drive, Stillorgan, Co. Dublin		
drawing	SITE LOCATION MAP		
date	16.09.14	drawn by: ch	check: pmangan
scale	1:1000	drawn no. 1411 - 100	rev. no.: PP.01

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SITE PLAN 1:200

014A/0604

Dun Laoghaire Rathdown County Council  
16 SEP 2014  
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PLANNING DEPT

# NOTES

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## LEGEND

INDICATES SITE BOUNDARY

## PLANNING APPLICATION

revision	description	date
PP.01	issued on planning application	15.08.14

## GENERAL ARRANGEMENT

4 phoenix terrace, blackrock, co. dublin

t - 01 210 4821

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STUDIO

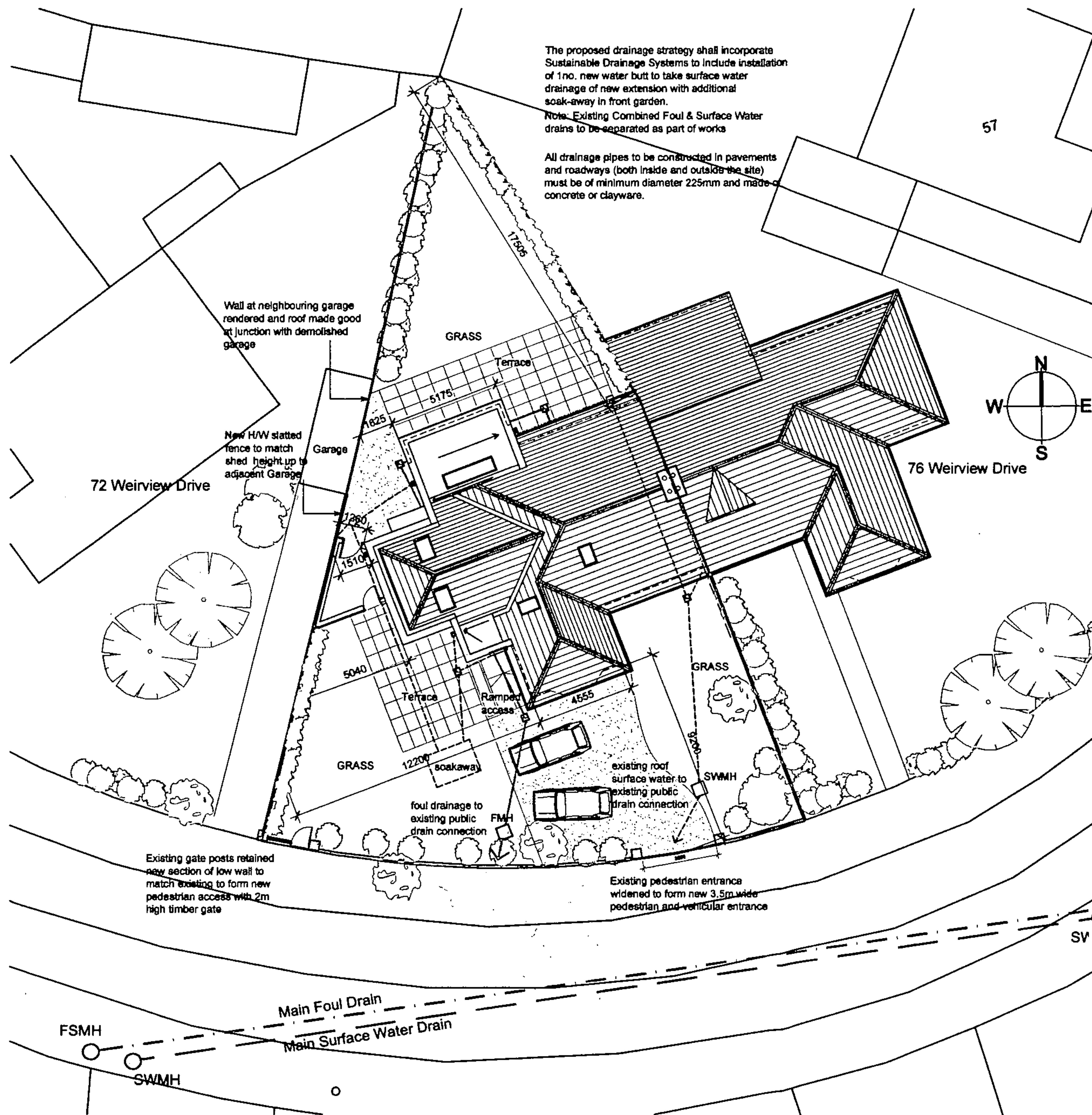


ARCHITECTS

project:	No. 74 Weirview Drive, Stillorgan, Co. Dublin		
drawing:	EXISTING SITE PLAN		
date:	15.08.14	drawn by:	ch
scale:	1:200	drawn no.:	1411 - 181
		check:	peasangan
		rev. no.:	PP.01

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SITE PLAN 1:200

**NOTES**

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**LEGEND**

INDICATES NEW WORK

INDICATES SITE BOUNDARY

FOUL DRAINAGE

SURFACE WATER DRAINAGE

**PLANNING APPLICATION**

revision:	description:	date:
PP-01	issued as planning application	18.08.14

**GENERAL ARRANGEMENT**

4 phoenix terrace, blackrock, co. dublin

t: 01 210 4821

e: info@studiosmarchitects.ie

PROJECT: No. 74 Weirview Drive, Stillorgan, Co. Dublin

DRAWING: PROPOSED SITE PLAN

DATE: 18.08.14

SCALE: 1:200

DESIGN NO.: 14111-001

REV. NO.: PP-01

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Dun Laoghaire Rathdown County Council

16 SEP 2014

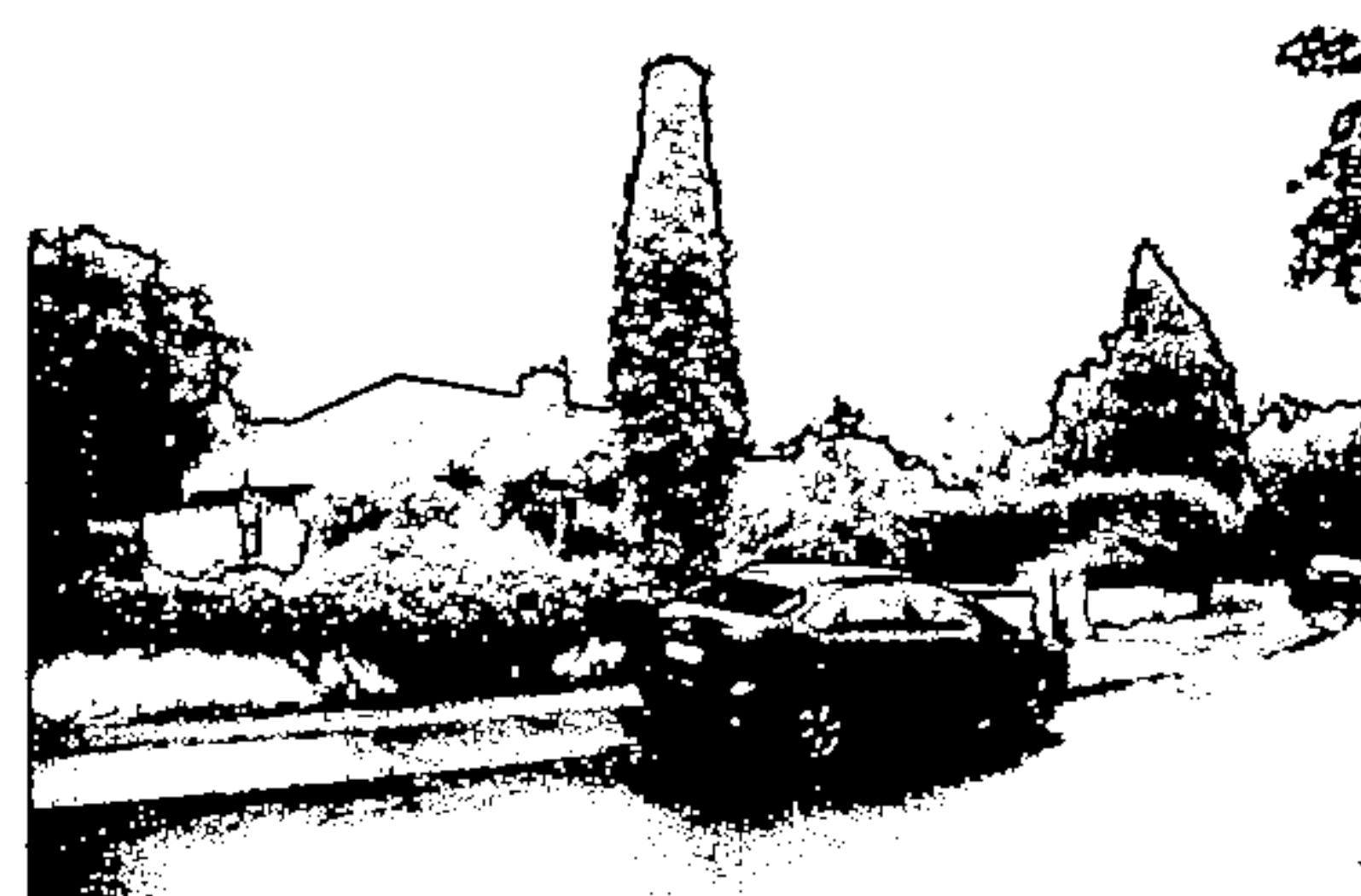
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PLANNING DEPT





View from road, existing vehicular entrance



View from road



Front Elevation from road



Existing pedestrian entrance



Front elevation



South-west boundary to front garden to No.72



Existing garage & side elevation



South-west boundary to front garden to No.72



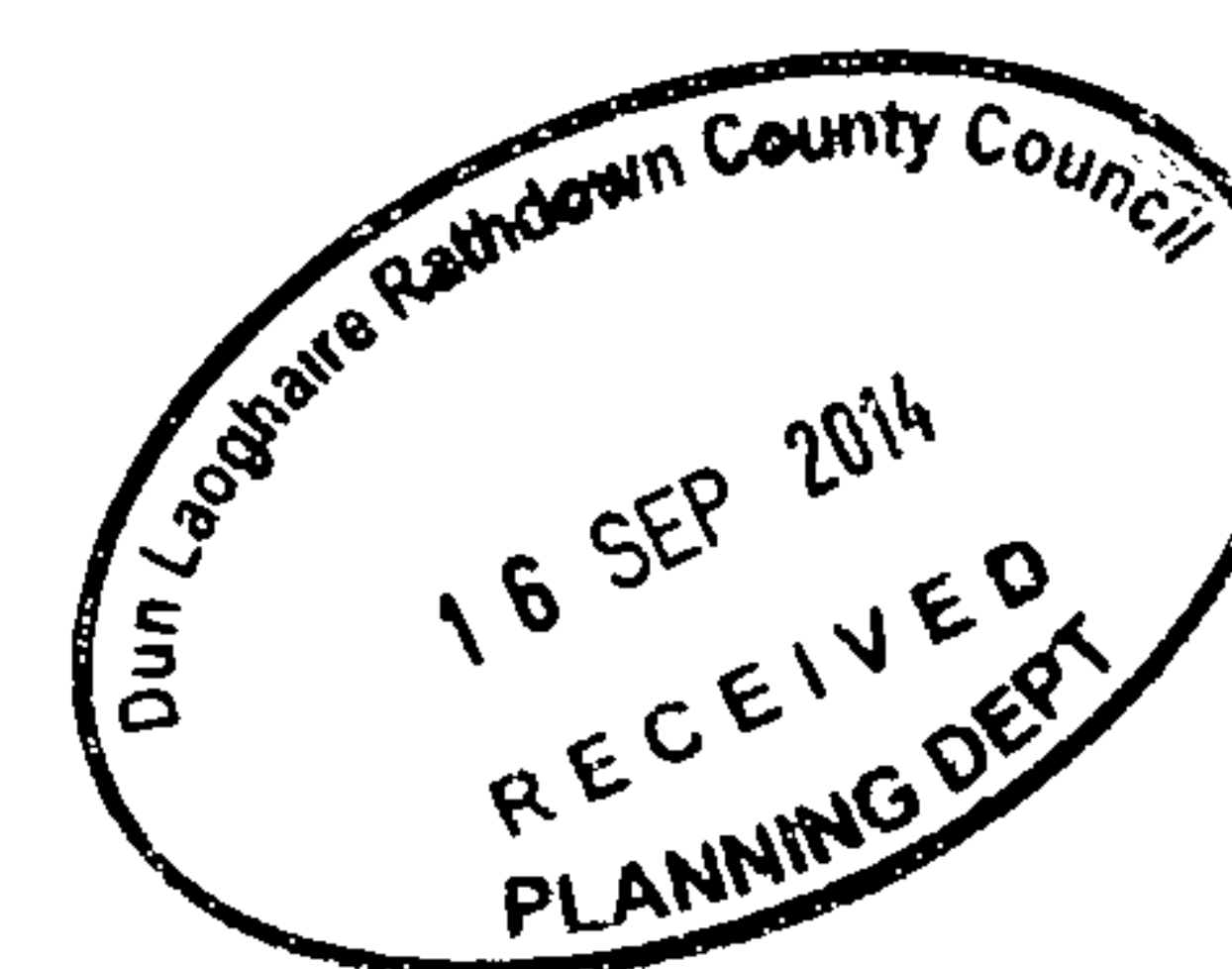
Front garden



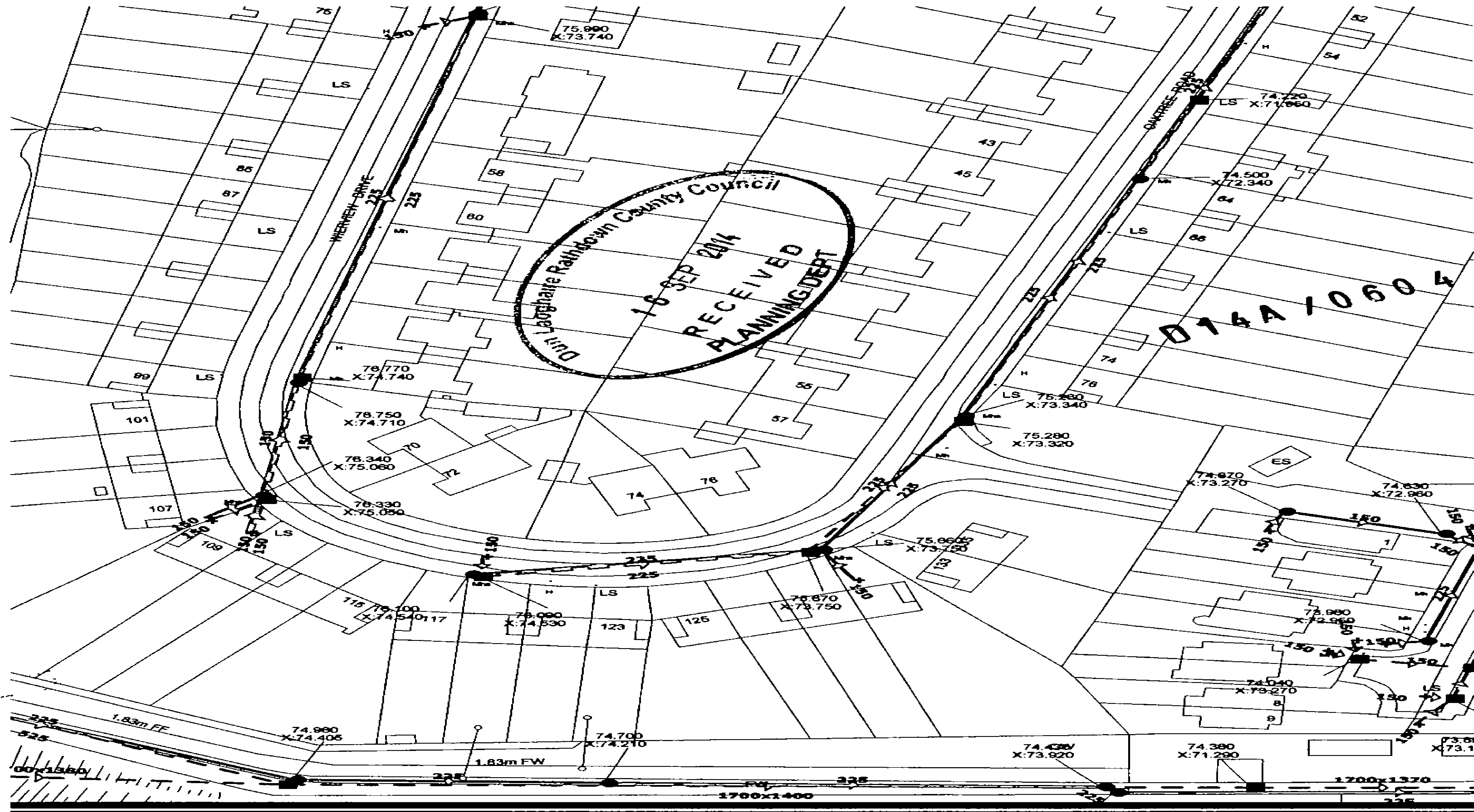
Rear elevation



Rear boundary wall to No.76



D14A / 0604



All levels are given in metres and are referred to Ordnance Survey Datum at Malin Head

The representation of a sewer or drain on this drawing does not warrant a right of connection

The position, level and ownership of a sewer or drain on this drawing should be verified on site and no responsibility will be accepted for any errors

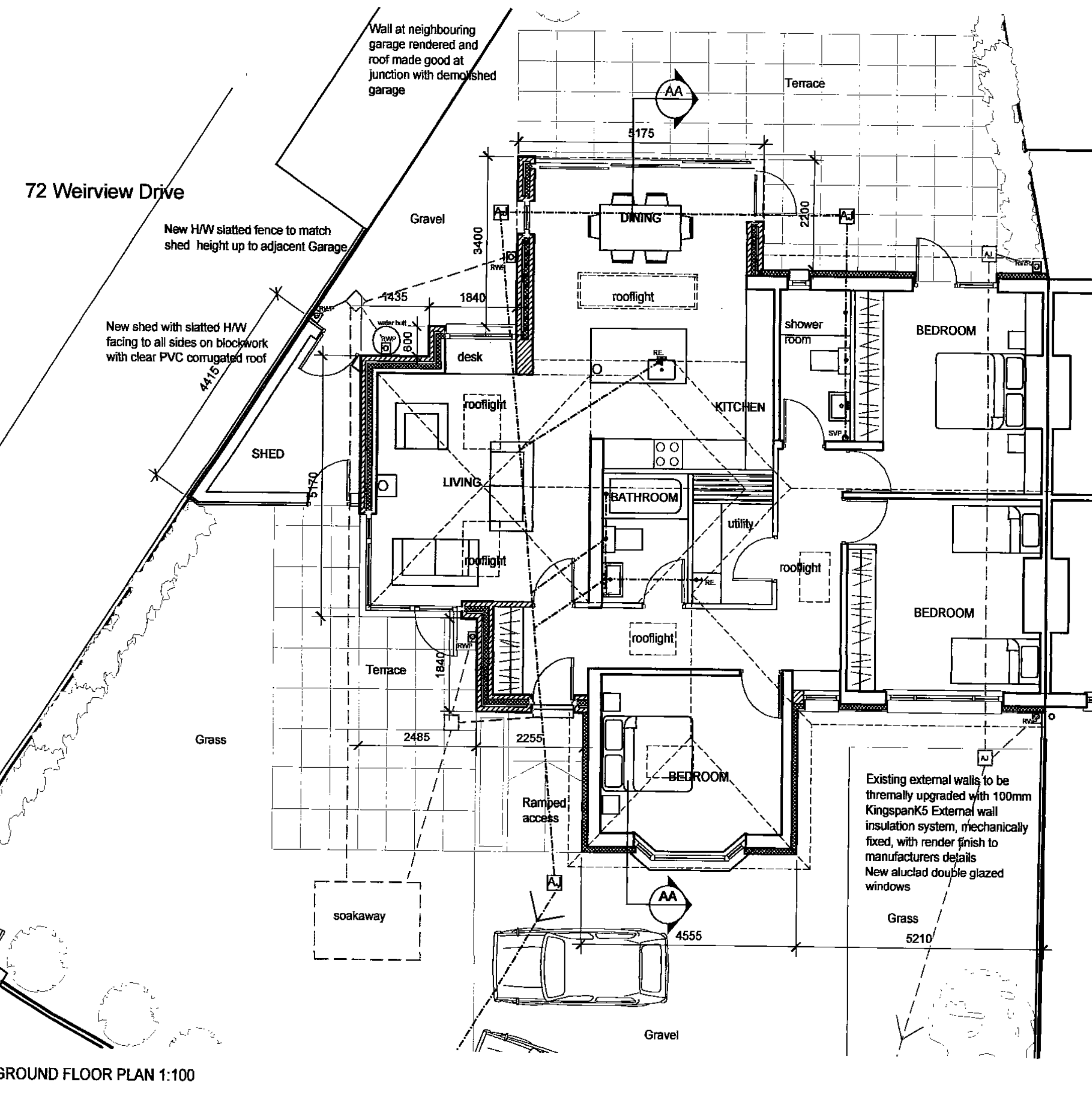
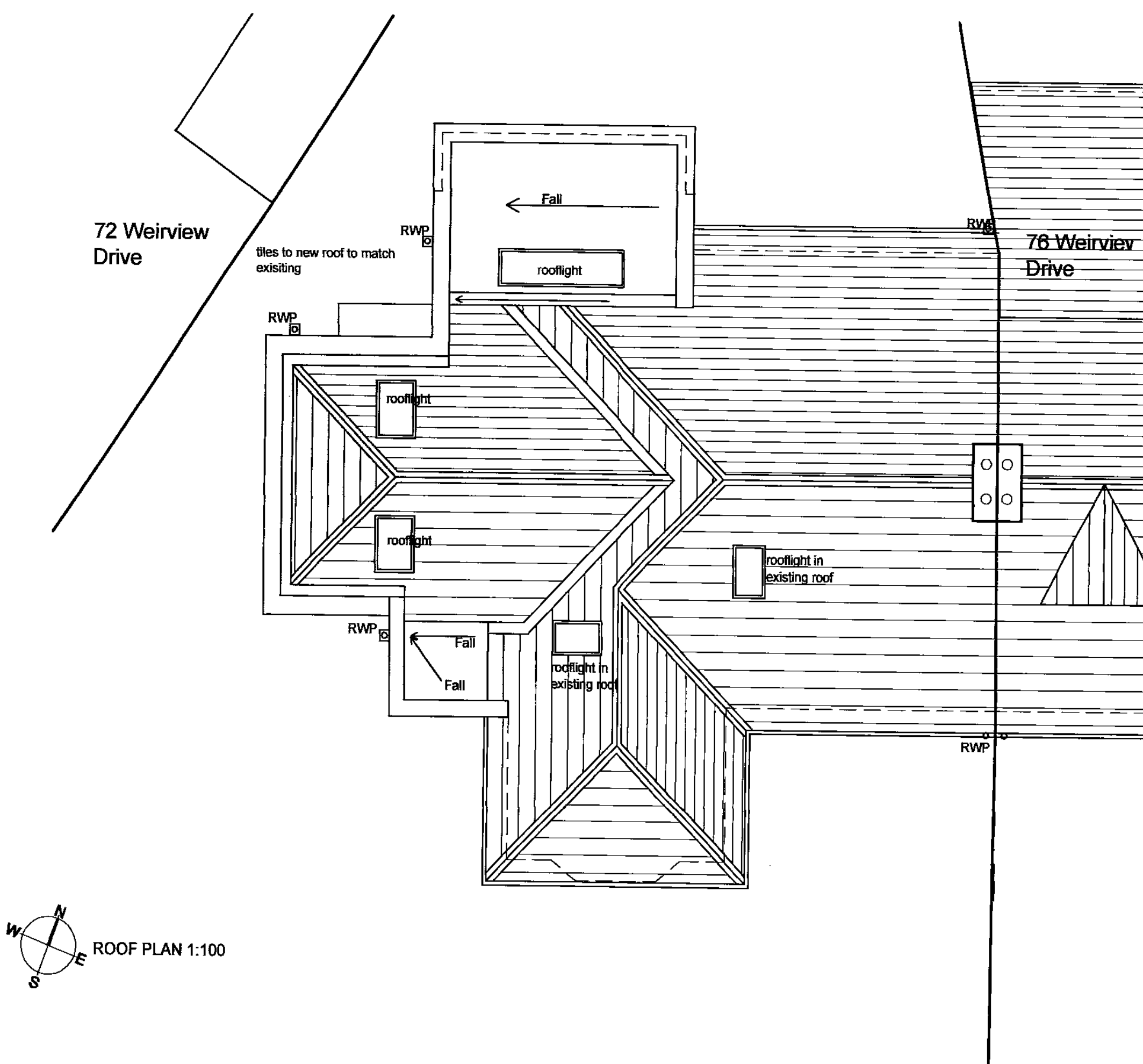
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Ordnance Survey Licence number  
2010/10/25/CCDA

Scale: 1: 1000  
Date: 21 Aug 2014

LEGEND			
Foul Drainage Pipe	Manhole	Rising Main (Pumping)	Pumping Station
Combined Drainage Pipe	Manhole	Overflow Pipe	Other Node
Surfacewater Drainage Pipe	Manhole	Inverted Siphon	Vent Column
		Trunk Main	Unknown Feature
			Rodding Eye
			Junction
			Outfall
			Storm Overflow





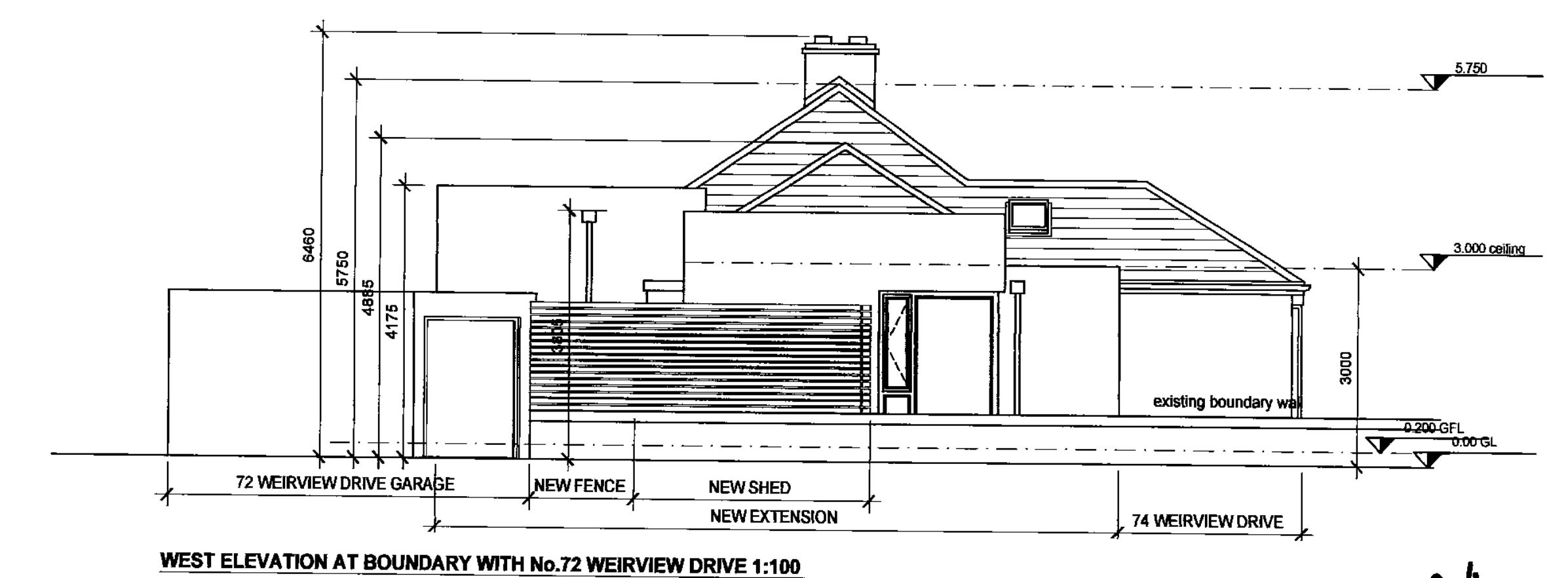
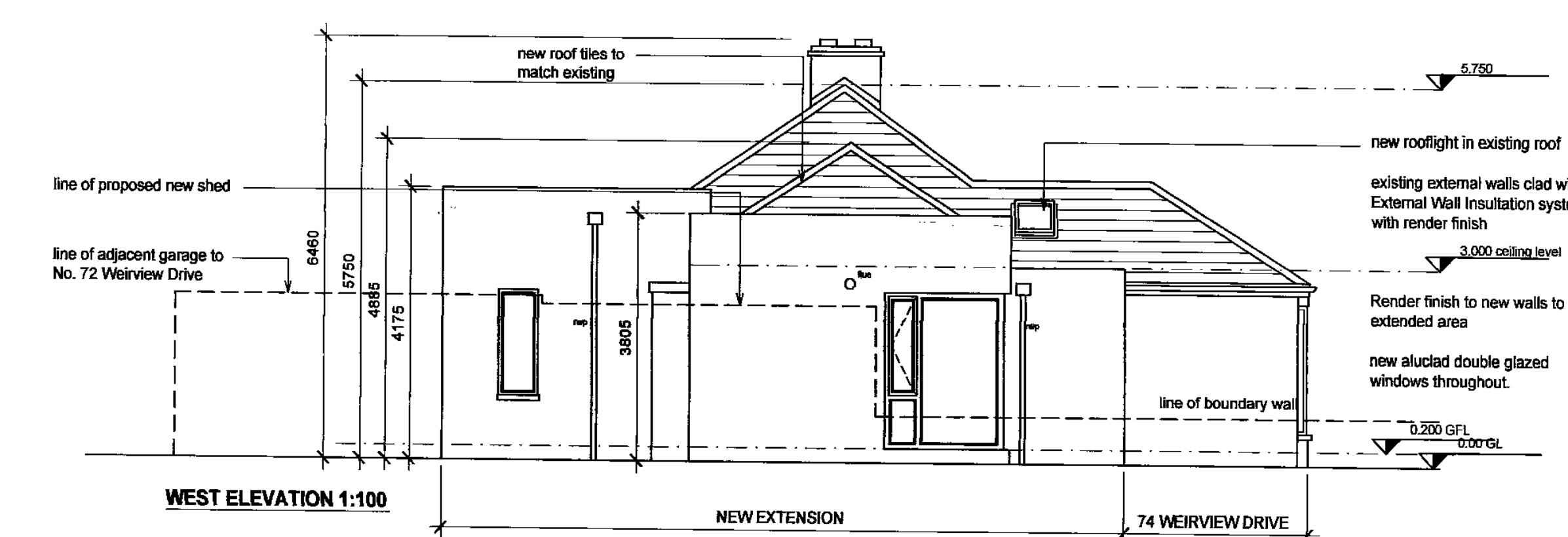
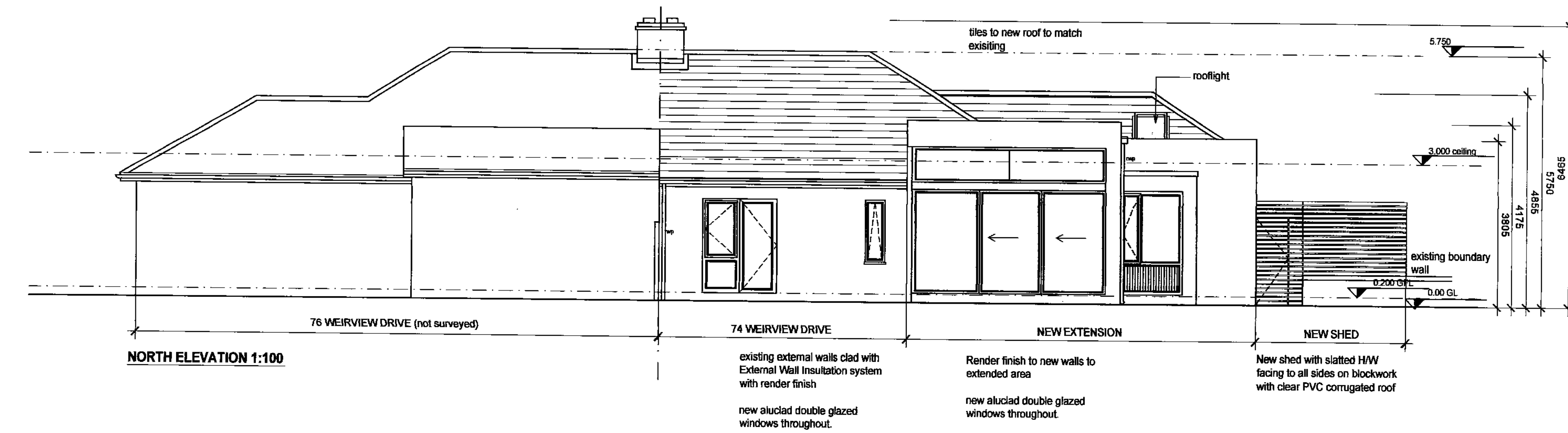
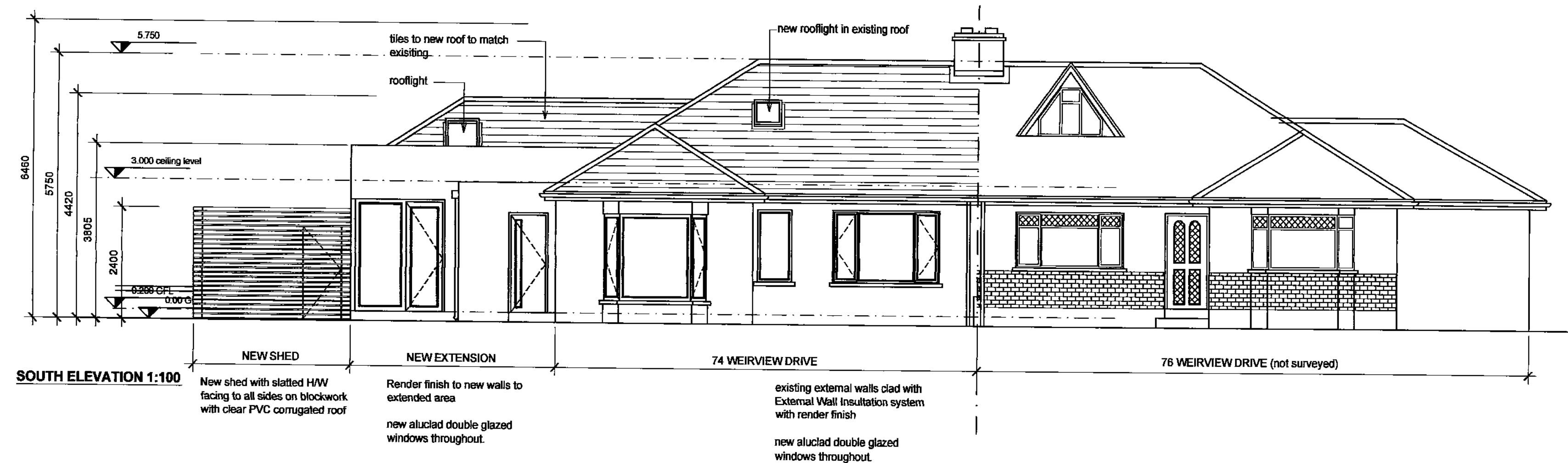
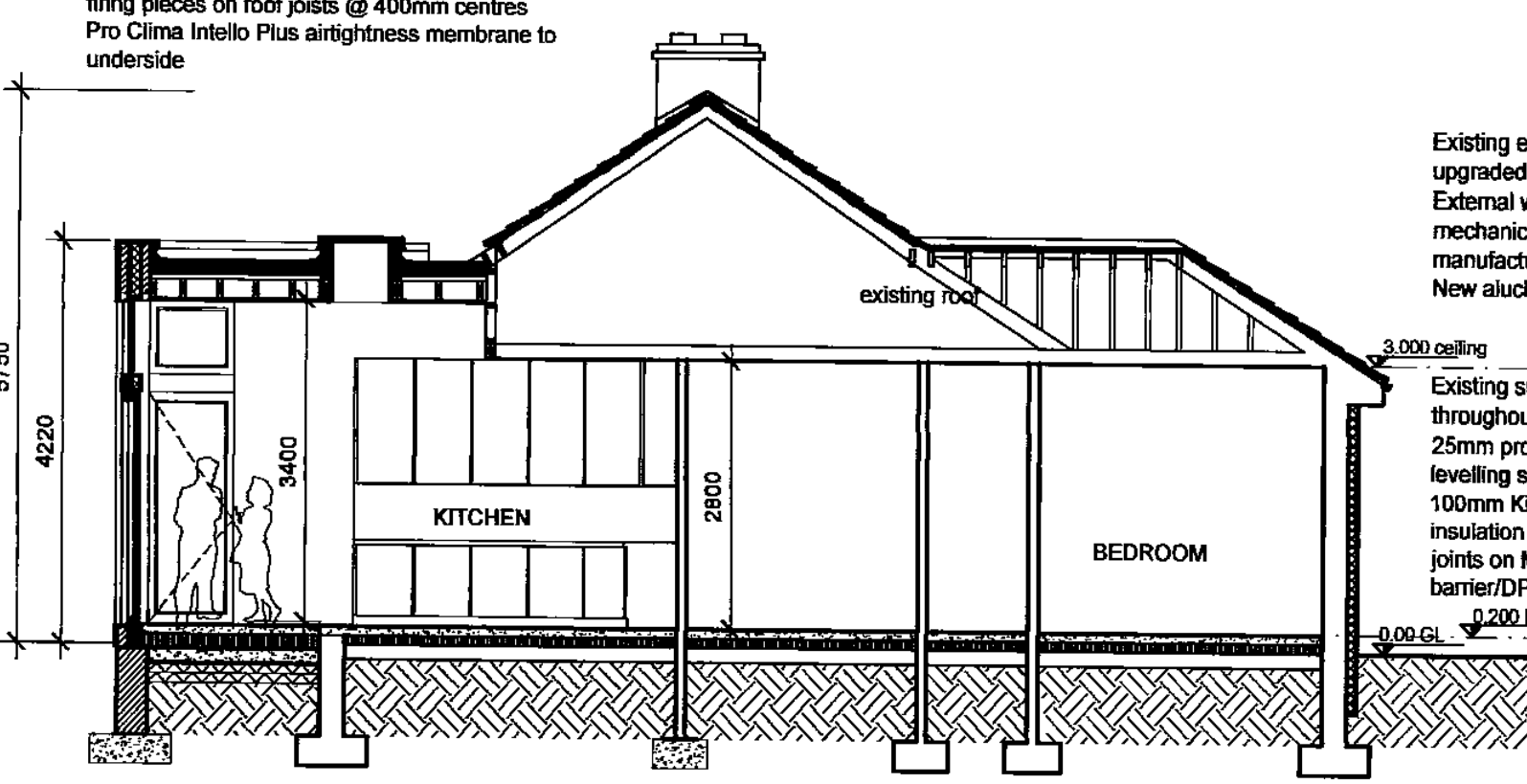


AREAS:	
GROSS FLOOR AREA EXISTING	84m²
GROSS FLOOR AREA PROPOSED WORKS	39m²
TOTAL GROSS FLOOR AREA PROPOSED DEVELOPMENT	123m

**NEW CAVITY WALL:**  
render finish to  
100mm concrete block outer leaf  
140mm cavity with  
100mm Kingspan Kooltherm K8 rigid  
insulation (40mm clear cavity) to 100mm  
concrete block inner leaf with stainless  
steel wall ties.  
Note: wall construction to achieve 0.20  
Wm2K  
Alucad double glazed windows and sliding  
screens throughout.

**NEW GROUND FLOOR & FOUNDATIONS:**  
Reinforced concrete Strip Foundation to  
Engineers specification.  
Rising walls constructed in solid block.  
25mm proprietary floor finish on 75mm  
levelling screed system on  
150mm Kingspan Kooltherm K3 rigid  
insulation on  
150mm deep R.C. slab reinforced to  
Engineer's design on Monarflex RMB 400  
Radon barrier/DPM on 50mm sand bedding on  
minimum 250mm well-compacted hardcore.

**NEW WARM FLAT ROOF:**  
2no layers Paralon waterproofing membrane on 120mm Paratorch PIR  
Insulation with 75mm angle fillets at upstands and kerbs.  
Lexshield self-adhesive Air-Barrier membrane, fully bonded with 100mm  
side and 150mm end laps. Perimeters and penetrations detailed to  
envelope insulation board on  
19mm WBP plywood fixed to roof joists on treated firing pieces on roof  
joists @ 400mm centres  
12.5mm plasterboard slabs and skim to underside.



**NOTES**

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TOUGHENED GLASS TO BE PROVIDED WHERE INDICATED WITH 'T'.

**NEW GROUND FLOOR & FOUNDATIONS:**  
Reinforced concrete Strip Foundation to Engineers specification.  
Rising walls constructed in solid block.  
**New Ground Floor Construction to Extension**  
25mm proprietary floor finish on 75mm levelling screed system on 150mm Kingspan Kooltherm K3 rigid insulation fitted in two layers with staggered joints on 150mm deep R.C. slab reinforced with A142 mesh subject to Engineer's design on Monarflex RMB 400 Radon barrier/DPM on 50mm sand bedding on minimum 250mm well-compacted hardcore.  
**UPGRADED GROUND FLOOR:**  
Existing suspended floors removed throughout and floor level lowered 25mm proprietary floor finish on 75mm levelling screed system on 100mm Kingspan Kooltherm K3 rigid insulation fitted in two layers with staggered joints on Monarflex RMB 400 Radon barrier/DPM on existing sub floor slab.

**NEW CAVITY WALL:**  
19mm sand lime cement, nap finish waterproof render or similar approved 100mm concrete block outer leaf bed across 140mm cavity with 100mm Kingspan Kooltherm K8 rigid insulation (40mm clear cavity) to 100mm concrete block inner leaf with stainless steel wall ties. Internal face to be plastered with 12.5mm bonding & skim to receive selected paint finish.  
Dry lining Insulation min. thickness of insulation to be 20mm to be constructed at head, jambs & cills of all ops to prevent cold-bridging. Expansion joints to be provided where required.  
Note: wall construction to achieve 0.20 Wm2K  
**WINDOWS & ROOFLIGHTS**  
New alucad double glazed timber windows throughout  
Note: Windows & rooflights to achieve 1.30 Wm2K

**EXISTING EXTERNAL WALLS:**  
Existing external walls to be thermally upgraded with 100mm KingspanK5 External wall insulation system, mechanically fixed, with render finish to manufacturers details.  
Insulation carried 600mm below ground level and existing cills cut back to facilitate EVI system  
**NEW WARM FLAT ROOF:**  
2no layers Paralon waterproofing membrane on 120mm Paratorch PIR insulation with 75mm angle fillets at upstands and kerbs.  
Lexshield self-adhesive Air-Barrier membrane, fully bonded with 100mm side and 150mm end laps. Perimeters and penetrations detailed to envelope insulation board on 19mm WBP plywood fixed to roof joists on treated firing pieces on roof joists @ 400mm centres 12.5mm plasterboard slabs and skim to underside.

**LEGEND**

INDICATES NEW BUILD EXTENSION

INDICATES SITE BOUNDARY

**PLANNING APPLICATION**

revision:	description:	date:
PP.01	Issued for planning application	16.09.14

16 SEP 2014  
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PLANNING DEPT

**GENERAL ARRANGEMENT**

4 phoenix terrace blackrock co. dublin

t. 01 210 4821

e. info@studiomarchitects.ie

project: No. 74 Weirview Drive, Stillorgan, Co. Dublin

drawing: PROPOSED PLANS, ELEVATIONS & SECTIONS

date: 16.09.14 drawn by: ch check: pmangan

scale: 1:100 dwg no.: 1411 - 202 rev. no.: PP.01

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