



Output Format:
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DXF_FULL

Output File:
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Cork.DXF

Map Series:
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1:2500

6339-B
REVISION DATE = 30-Mar-2016
SURVEY DATE = 01-Oct-1997

Clip Extent:
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LLX,LLY = 174267,75244
LRX,LRY = 175097,75244
ULX,ULY = 174267,75859
URX,URY = 175097,75859

Projection:
=====

IG

ITM Centre Point Co-ordinate:
=====

X,Y = 574638,575612

Extraction Date:
=====

23-Feb-2018

Copyright:
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<div>ACS CONSULTING</div> <div>ENGINEERS & PROJECT MANAGERS</div>										<div>PROJECT:</div> <div>CONSTRUCTION OF WAREHOUSE BUILDING</div>										<div>DATE CREATED:</div> <div>16.06.2019</div>				<div>DRAWING TITLE:</div> <div>SITE LOCATION MAP 1:2500</div>							
<div>LOCATION:</div> <div>BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK</div>										<div>CLIENT REFERENCE:</div> <div>3619/C</div>				<div>CLIENT:</div> <div>HENBROD INVESTMENTS LTD.</div>				<div>STAGE:</div> <div>TENDER</div>		<div>SCALE:</div> <div>1:2500</div>		<div>DWG TYPE:</div> <div>A3</div>		<div>DRAWING NUMBER:</div> <div>01</div>							
WAFULCRUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK										TEL: (087) 6646962				EMAIL: CHRISTOPHER@ACSCONSULTING.IE				TENDER		A		01.07.19		CS							
										REVISION:				BY:		ISSUE:		DATE:		BY:											



Brooklodge
business Park

Brooklodge East

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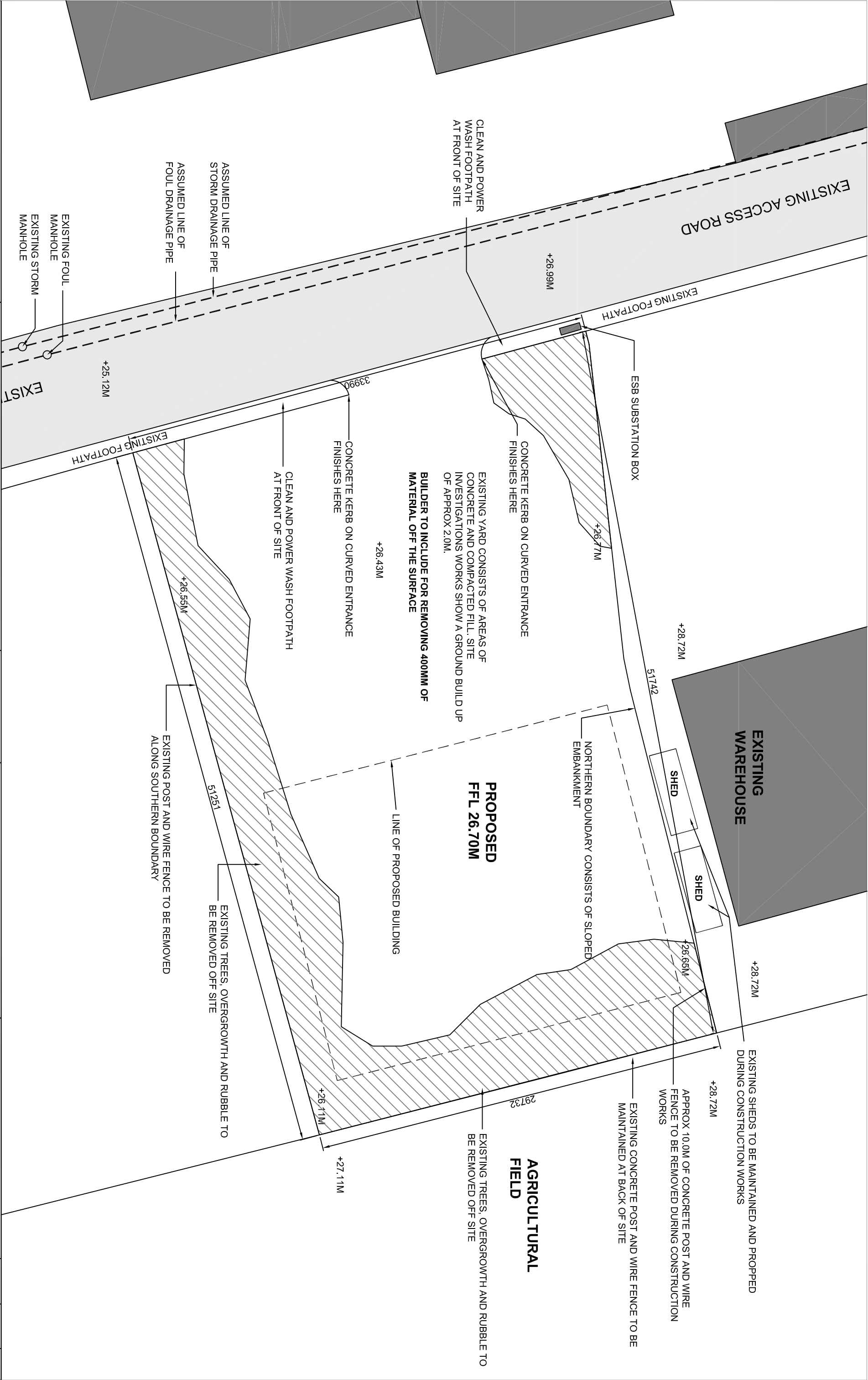
23-Feb-2018

Copyright:

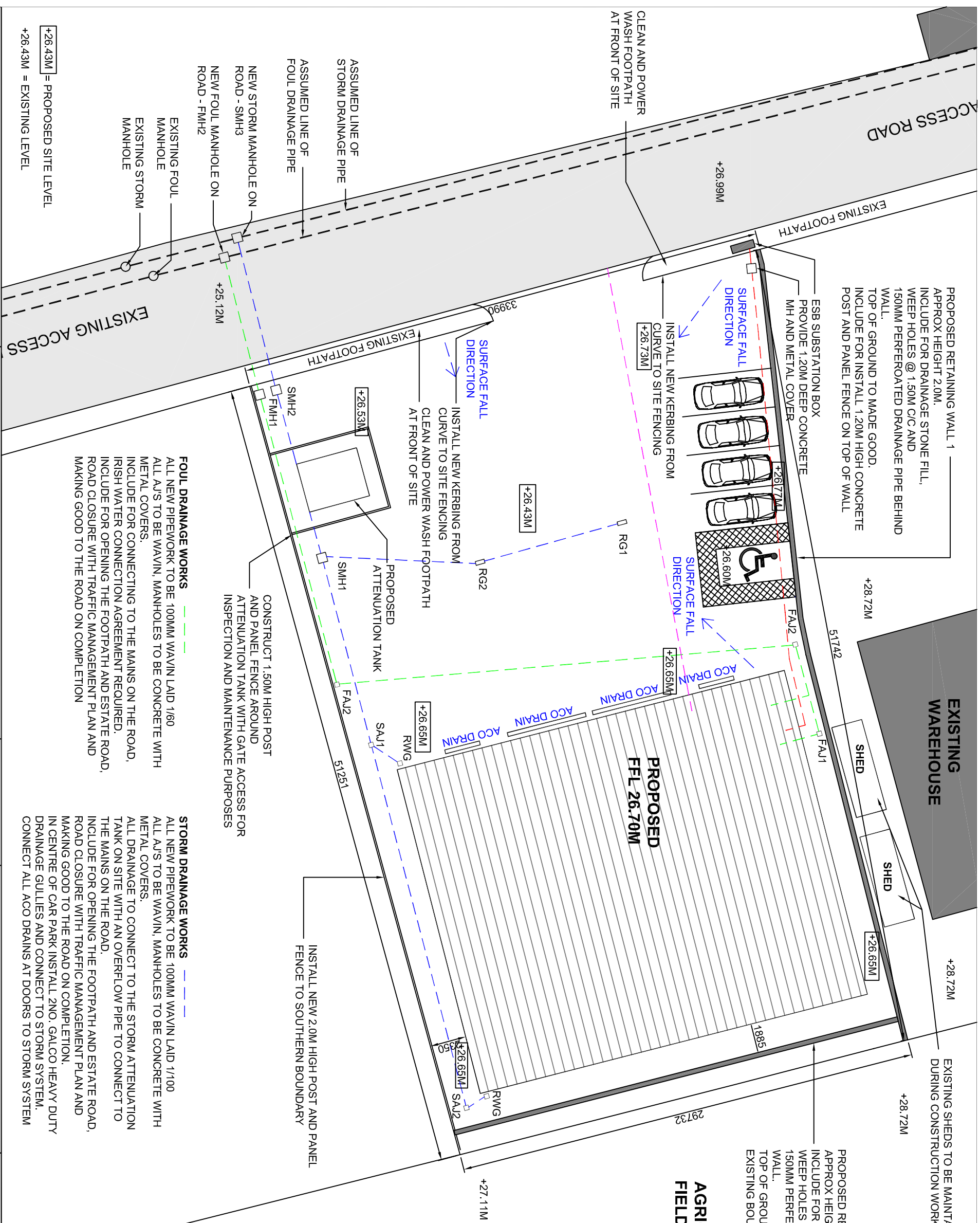
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PROJECT: CONSTRUCTION OF WAREHOUSE BUILDING			DATE CREATED: 16.06.2019		DRAWING TITLE: SITE LOCATION MAP 1:1000				
LOCATION: BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK			CLIENT REFERENCE: 3619/C		CLIENT: HENBROD INVESTMENTS LTD.				



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PROJECT: CONSTRUCTION OF WAREHOUSE BUILDING			DATE CREATED: 16.06.2019		DRAWING TITLE: EXISTING SITE LAYOUT				
LOCATION: BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK		CLIENT REFERENCE: 3619/C		CLIENT: HENBROD INVESTMENTS LTD.					
STAGE: TENDER			SCALE: 1:250		DWG TYPE: A3		DRAWING NUMBER: 03		



AGRICULTURAL FIELD

ATTENUATION TANK

PROPOSED ATTENUATION CAPACITY TO BE 25.10M3.
EXCAVATE 3.20M WIDE X 4.01M LONG X 2.01M DEEP.
CLEAN DOWN TO ACHIEVE SMOOTH SIDE AND BASE OF
TRENCH.
INSTALL 150MM COMPACTED DRAINAGE STONE, 100 - 200MM
TO BOTTOM OF TRENCH.
INSTALL GEOTEXTILE MEMBRANE AROUND EXCAVATION.
INSTALL ESS ECOCELL DRAINAGE BASKETS TO TO
EXCAVATION.
INSTALL CENTRAL WELL WITH 225MM PERFORATED PIPE
AND COVER FOR INSPECTION PURPOSES.

GENERAL SITEWORKS

REMOVE ALL TREES, RUBBISH AND FENCING AS PER DRG03.
IN CAR PARKING AND YARD AREA, EXCAVATE 400MM BELOW
EXISTING SURFACE AND CART OFF SITE.
INSTALL 200MM COMPACTED HARDCORE, 200MM
REINFORCED 35N CONCRETE.
LAY CONCRETE 1/180 TO FALL FROM CORNERS TO CENTRAL
GULLIES.
INCLUDE FOR LINE MARKING CAR PARKING SPACES AND
ACCESSIBLE CAR PARK SPACE AS SHOWN.
FORM CONSTRUCTION / EXPANSION JOINTS IN CONCRETE
AT 6.0M CENTRES.

INSTALL 150MM CONCRETE FOOTPATHS AROUND PERIMETER OF BUILDING ON 100MM COMPACTED HARDCORE. FOOTPATHS TO EXTEND FROM BUILDING TO RETAINING WALLS / BOUNDARY LINES.

ESB — BUILDER TO INCLUDE FOR INSTALLING 3PHASE 36KVA POWER SUPPLY TO THE BUILDING.
INCLUDE FOR EXCAVATING TRENCH AND INSTALLING SUITABLE FILL, DUCT AND MAKING GOOD.
INCLUDE FOR INSTALLING 3NO. EXTERNAL LIGHTS;
100W WALL MOUNTED ALUMINUM LIGHTS, LOCATIONS TO BE AGREED AT CONSTRUCTION STAGE

WATER — — —

IRISH WATER CONNECTION AGREEMENT REQUIRED. INCLUDE FOR EXCAVATING TRENCH AND INSTALLING SUITABLE FILL, DUCT AND MAKING GOOD. INCLUDE FOR ROAD CLOSURE, EXCAVATION OF ESTATE ROAD AND MAKING GOOD. INCLUDE FOR TRAFFIC MANAGEMENT PLAN, RISK ASSESSMENTS.

ACS CONSULTING
ENGINEERS & PROJECT MANAGERS

via FULCRUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK
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TENDER		A																												
REVISION:		01.07.19 CS																												
LOCATION: BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK		CLIENT REFERENCE: 3619/C		CLIENT: HENBROD INVESTMENTS LTD.		STAGE: TENDER		SCALE: 1:250	DWG TYPE: A3	DRAWING NUMBER: 04																				

EXISTING NEIGHBOURING BUILDING

**EXISTING TREES, OVERGROWTH AND
RUBBLE TO
BE REMOVED OFF SITE**

**BUILDER TO INCLUDE FOR REMOVING
400MM OF MATERIAL OFF THE SURFACE
EXISTING YARD CONSISTS OF AREAS OF
CONCRETE AND COMPACTED FILL. SITE
INVESTIGATIONS WORKS SHOW A
GROUND BUILD UP OF APPROX 2.0M.**

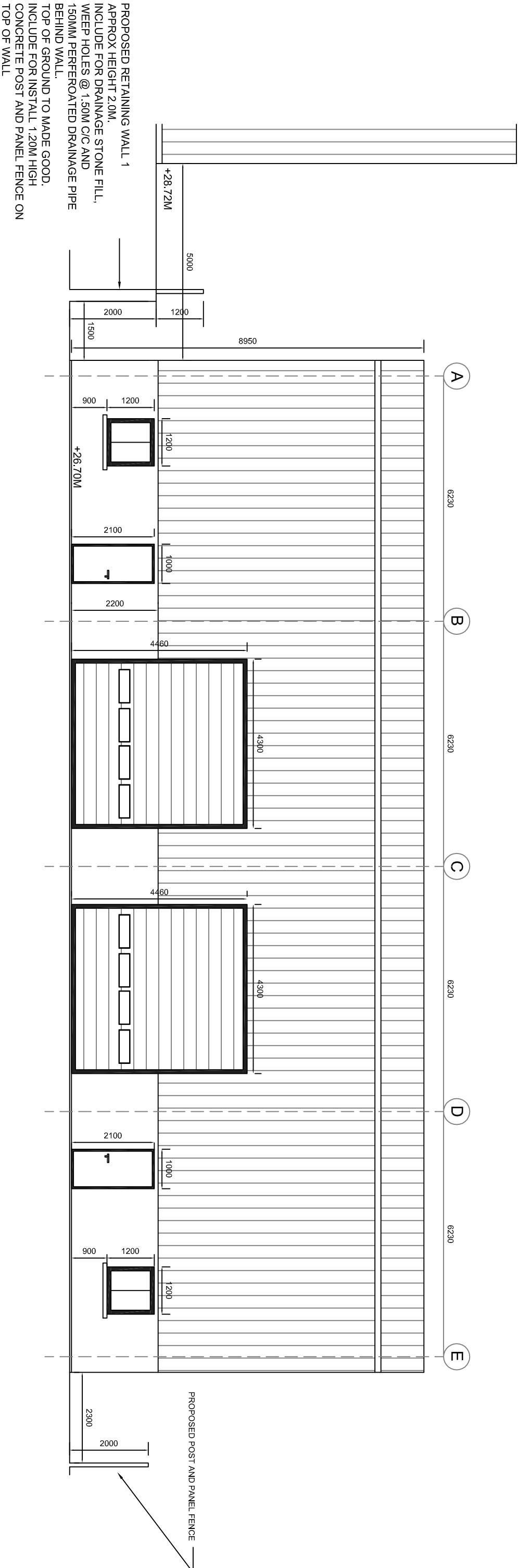
**EXISTING TREES, OVERGROWTH AND
RUBBLE TO
BE REMOVED OFF SITE**

EXISTING POST AND WIRE FENCE TO BE
REMOVED
ALONG SOUTHERN BOUNDARY

EXISTING SECTION THROUGH THE SITE

SCALE 1: 100

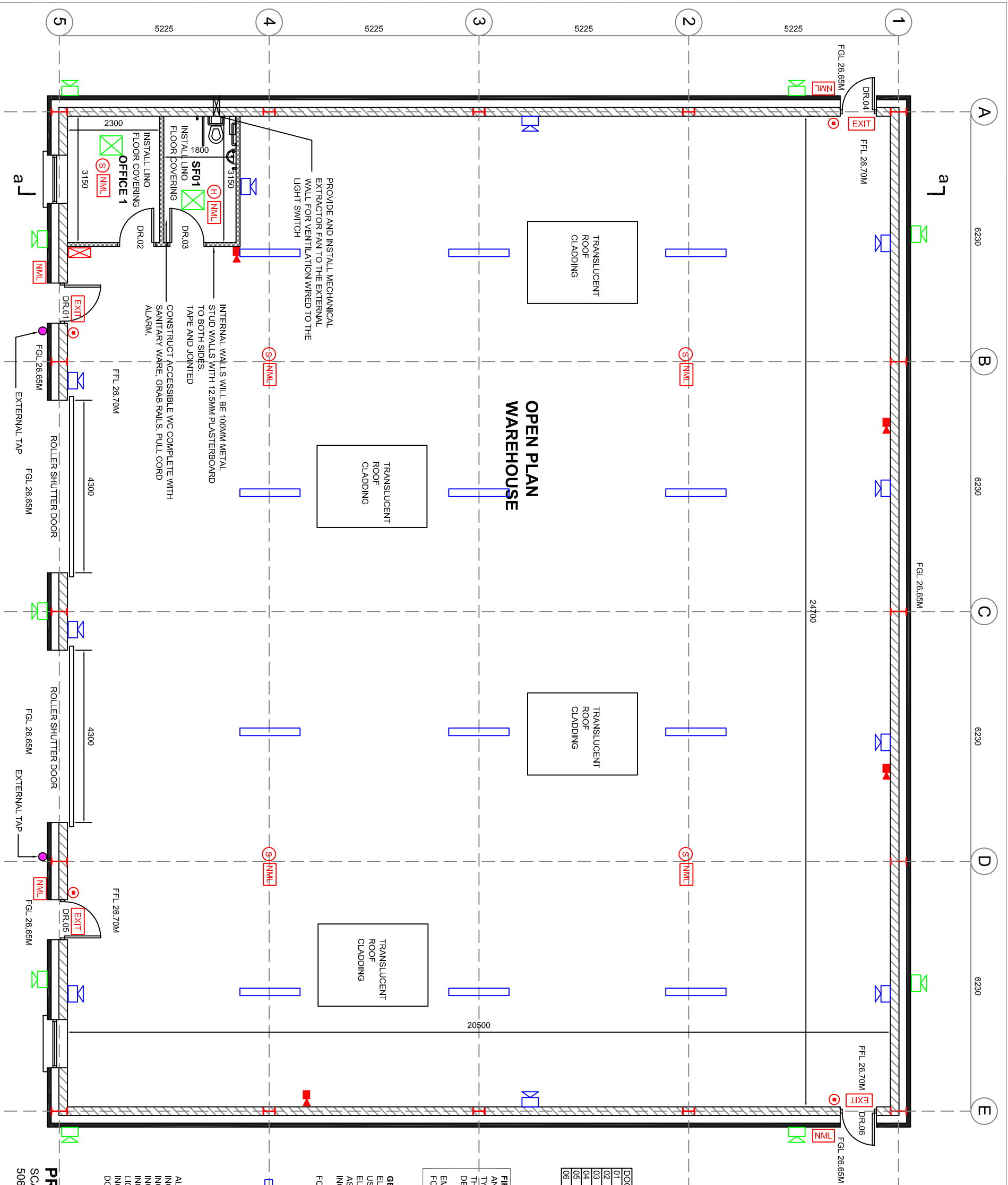
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PROJECT: CONSTRUCTION OF WAREHOUSE BUILDING			DATE CREATED: 16.06.2019		DRAWING TITLE: EXISTING SITE SECTION				
LOCATION: BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK		CLIENT REFERENCE: 3619/C		CLIENT: HENBROD INVESTMENTS LTD.					
STAGE: TENDER		SCALE: 1:100		DWG TYPE: A3		DRAWING NUMBER: 05			
		TENDER		A		01.07.19		CS	
		REVISION:				ISSUE:		DATE:	
						BY:			













PROPOSED SECTION THROUGH THE SITE

SCALE 1: 100

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VIBULCRUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK		TEL: (087) 6646962		EMAIL: CHRISTOPHER@ACSCONSULTING.IE		TENDER		REVISION:		ISSUE: A		DATE: 01.07.19		BY: CS	



FIRE LEGEND	
	60MIN FIRE RESISTING CONSTRUCTION
	30MIN FIRE RESISTING CONSTRUCTION
	MAINS SMOKE DETECTOR
	MAINS HEAT DETECTOR
	NON MAINTAINED EMERGENCY LIGHT
	BREAK GLASS UNIT
	FIRE SOUNDER
	ALARM CONTROL PANEL
FD30S	30MIN FIRE DOOR WITH SMOKE SEAL
FD60S	60MIN FIRE DOOR WITH SMOKE SEAL
	VENTILATION DUCTS / EXTRACTOR FANS
	MINIMUM VENTILATION 0.20m ²
	MAINTAINED EMERGENCY LIGHTING

DOOR NO.	CLEAR WIDTH:	FIRE RATING:	VISION PANEL:	DOOR FITTING:
01	825MM	EXT. DOOR	YES	THUMB TURN ON ESCAPE SIDE
02	825MM	N/A	YES	THUMB TURN ON ESCAPE SIDE
03	825MM	N/A	NO	THUMB TURN ON ESCAPE SIDE
04	750MM	EXT. DOOR	NO	PANIC BOLT ON ESCAPE SIDE
05	825MM	EXT. DOOR	NO	THUMB TURN ON ESCAPE SIDE
06	750MM	EXT. DOOR	NO	PANIC BOLT ON ESCAPE SIDE

FIRE DETECTION AND EMERGENCY LIGHTING
AN AUTOMATIC FIRE DETECTION AND ALARM SYSTEM IS PROPOSED FOR THIS DEVELOPMENT.
TYPE I, 1 FIRE DETECTION COVERAGE IS PROPOSED.
THE FIRE DETECTION AND ALARM SYSTEM SHALL BE IN ACCORDANCE WITH IS3218:2013 FIRE
DETECTION & ALARM SYSTEM.

EMERGENCY LIGHTING TO BE INSTALLED IN ACCORDANCE WITH IS3217-2013, CODE OF PRACTICE FOR EMERGENCY LIGHTING

GENERAL ELECTRICAL
ELECTRICIAN TO BRING IN 3 PHASE POWER SUPPLY, 380V.
USE METAL CONDUITS AND SOCKETS THROUGHOUT.
ELECTRICIAN TO INCLUDE FOR CIRCUIT BOARD, METER BOX,
AS STANDARD.
INCLUDE FOR ALL LIGHT FIXTURES AND SUPPORTS AS REQUIRED
FOR LIGHTING. USE THORLUX LIGHTING OR SIMILAR

WALL MOUNTED LIGHTING - LED BULKEADS

ROOF HUNG ZIPLINE PRE WIRED, CORROSION RESISTANT LED LUMINAIRESS

EXTERNAL BULKHEADS

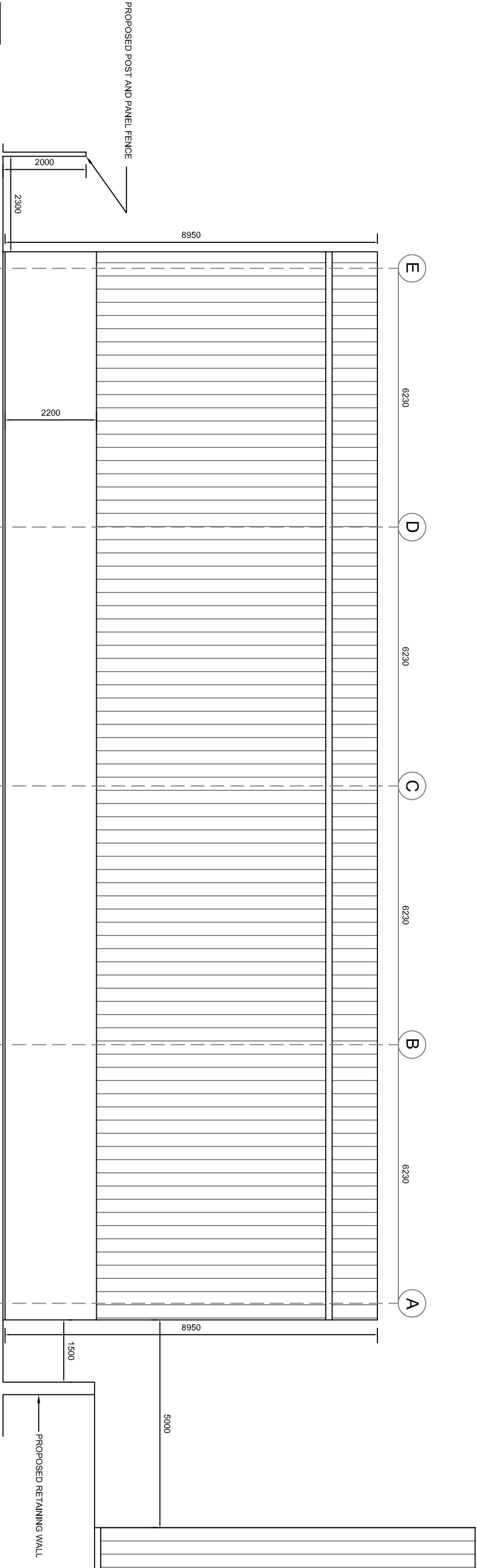
☒ THORLUX G4 RECESSED OFFICE LIGHTING

ALL SOCKETS AND LIGHT SWITCH COVERS TO BE METAL. INCLUDE FOR 4 X DOUBLE SOCKETS AND TRUNKING TO THE OFFICE. INCLUDE FOR PHONE, INTERNET, CAT 5 CABLEING TO THE OFFICE. INCLUDE FOR LIGHT SWITCH TO OFFICE AND WC. INCLUDE FOR 4NO. LIGHT SWITCHES AT ALL EXTERNAL DOORS TO CONTROL CENTRAL WAREHOUSE LIGHTING AND WALL MOUNTED LIGHTING. INCLUDE FOR 12 DOUBLE SOCKETS TO THE OPEN PLAN WAREHOUSE. INCLUDE FOR 4NO. EXTERNAL DOUBLE SOCKETS.

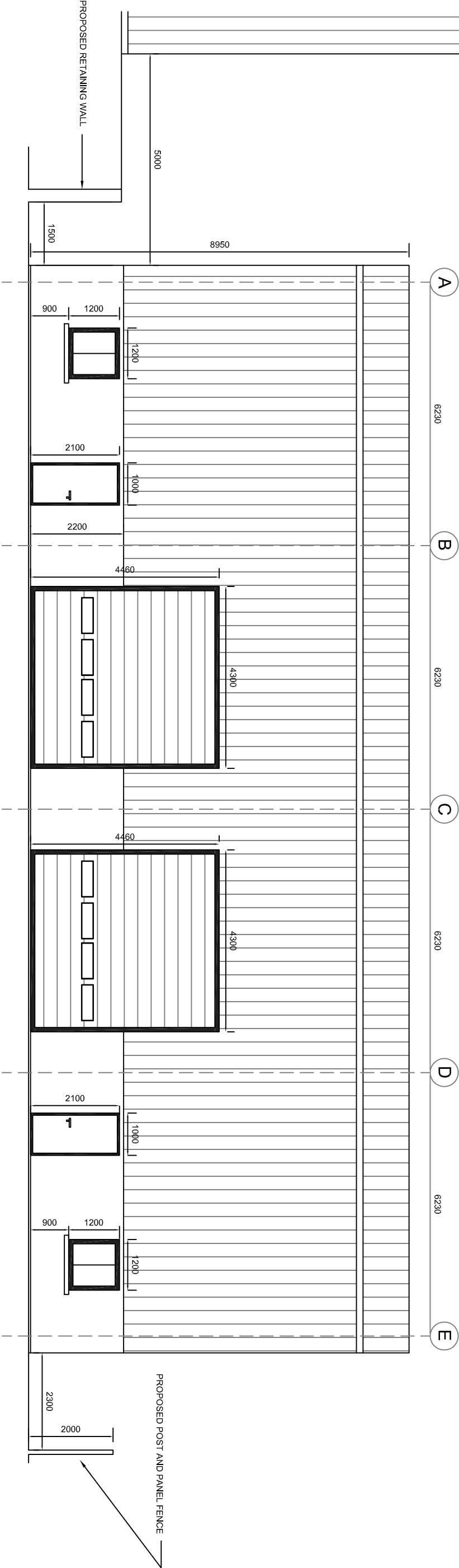
PROPOSED FLOOR PLAN

SCALE 1: 100
506.35 SQ/M

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LOCATION:		BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK					CLIENT REFERENCE:		3619/C			CLIENT:		HENBROD INVESTMENTS LTD.										
STAGE:		TENDER		SCALE:		1:100		DWG TYPE:		A3		DRAWING NUMBER:		07		TENDER								
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														A		01.07.19		CS						

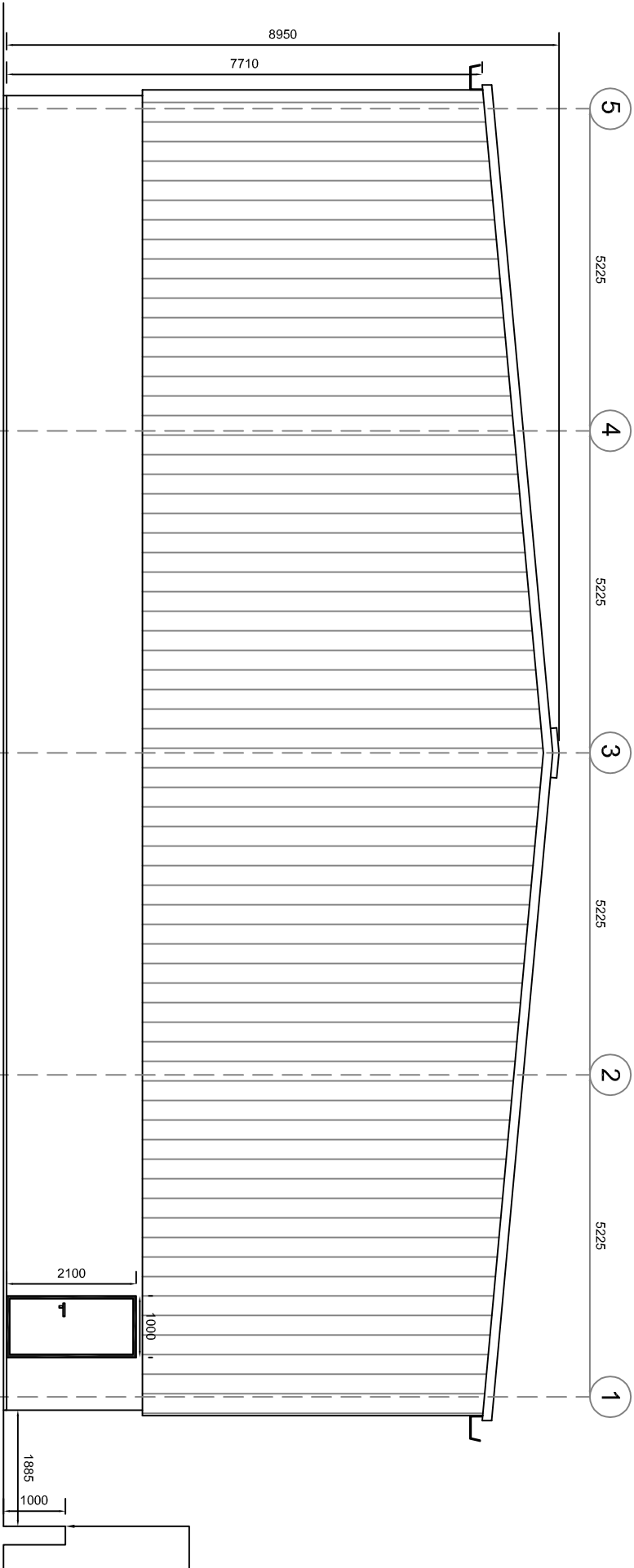


REAR ELEVATION
SCALE 1: 100



FRONT ELEVATION
SCALE 1: 100

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LOCATION:		BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK			CLIENT REFERENCE:		3619/C		
		CLIENT:			DRAWING TITLE:		FRONT AND REAR ELEVATION		
		HENBROD INVESTMENTS LTD.							
		STAGE:		SCALE:		DWG TYPE:		DRAWING NUMBER:	
		TENDER		1:100		A3		09	
		REVISION:						A	
								01.07.19	
								CS	
								ISSUE:	
								DATE:	
								BY:	

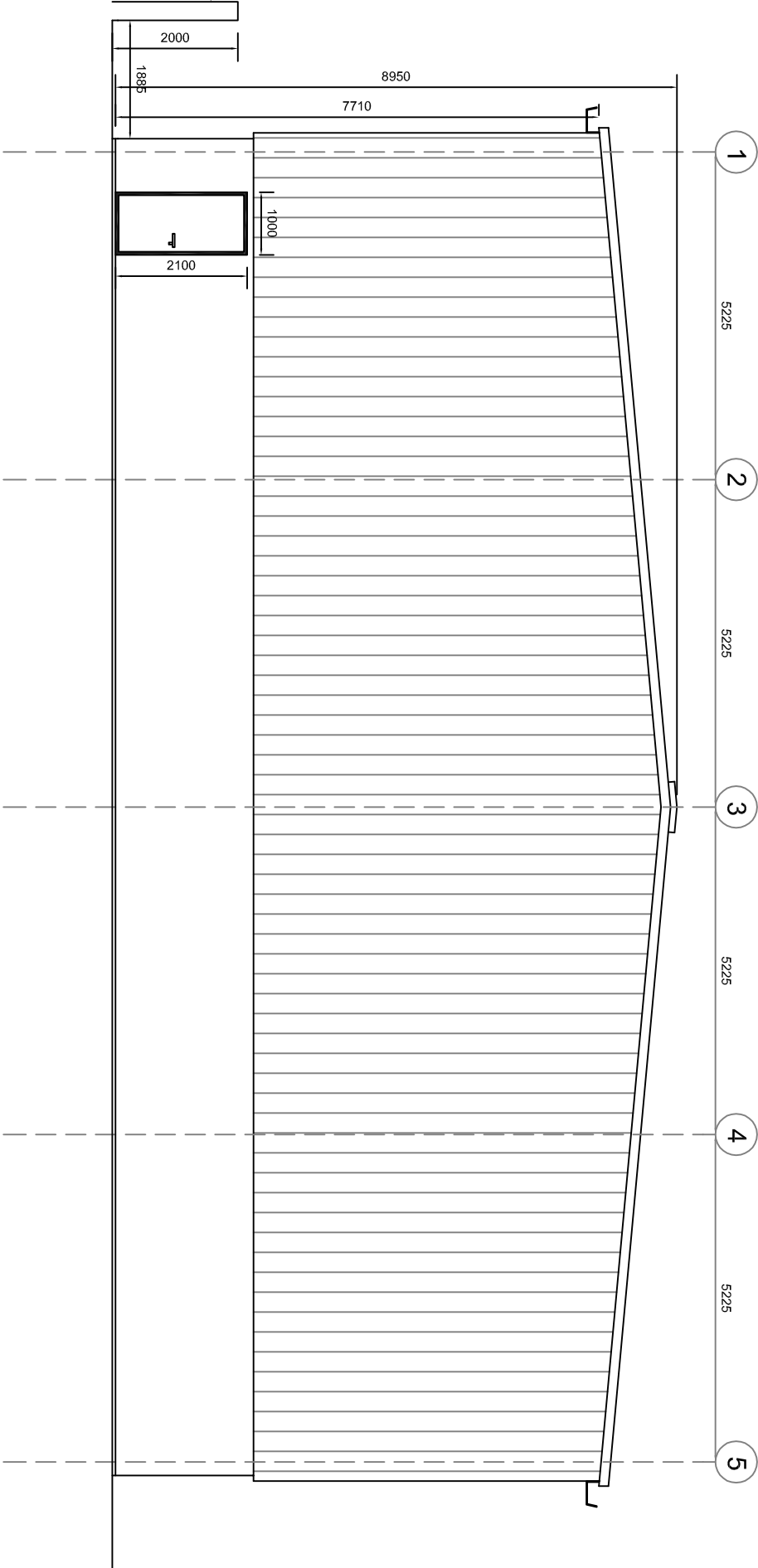


PROPOSED RETAINING WALL 2
APPROX HEIGHT 2.0M.
INCLUDE FOR DRAINAGE STONE FILL,
WEEP HOLES @ 1.50M C/C AND
150MM PERFEROATED DRAINAGE PIPE
BEHIND
WALL.
TOP OF GROUND TO MADE GOOD AND
SLOPE BACK TO EXISTING BOUNDARY

SOUTH ELEVATION

SCALE 1: 100

PROPOSED RETAINING WALL 2
APPROX HEIGHT 2.0M.
INCLUDE FOR DRAINAGE STONE FILL,
WEEP HOLES @ 1.50M C/C AND
150MM PERFEROATED DRAINAGE PIPE
BEHIND
WALL.
TOP OF GROUND TO MADE GOOD AND
SLOPE BACK TO EXISTING BOUNDARY



NORTH ELEVATION

SCALE 1: 100

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	CONSTRUCTION OF WAREHOUSE BUILDING		16.06.2019		SIDE ELEVATIONS						
	LOCATION:		CLIENT REFERENCE:		CLIENT:						
	BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK		3619/C		HENBROD INVESTMENTS LTD.						
				STAGE:		SCALE:		DWG TYPE:		DRAWING NUMBER:	
				TENDER		1:100		A3		10	
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