





Brooklodge  
business Park

Brooklodge East

Output Format:

DXF\_FULL

Output File:

Cork.DXF

Map Series:

1:2500

6339-B

REVISION DATE = 30-Mar-2016

SURVEY DATE = 01-Oct-1997

Clip Extent:

LLX,LLY = 174267,75244

LRX,LRX = 175097,75244

ULX,ULY = 174267,75859

URX,URY = 175097,75859

Projection:

IG

ITM Centre Point Co-ordinate:

X, Y = 574638,575612

Extraction Date:

23-Feb-2018

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**ACS CONSULTING**  
ENGINEERS & PROJECT MANAGERS

VIAFULCRUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK  
TEL: (087) 6646982  
EMAIL: CHRISTOPHER@ACSCONSULTING.IE

PROJECT:  
CONSTRUCTION OF WAREHOUSE BUILDING

LOCATION:  
BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK

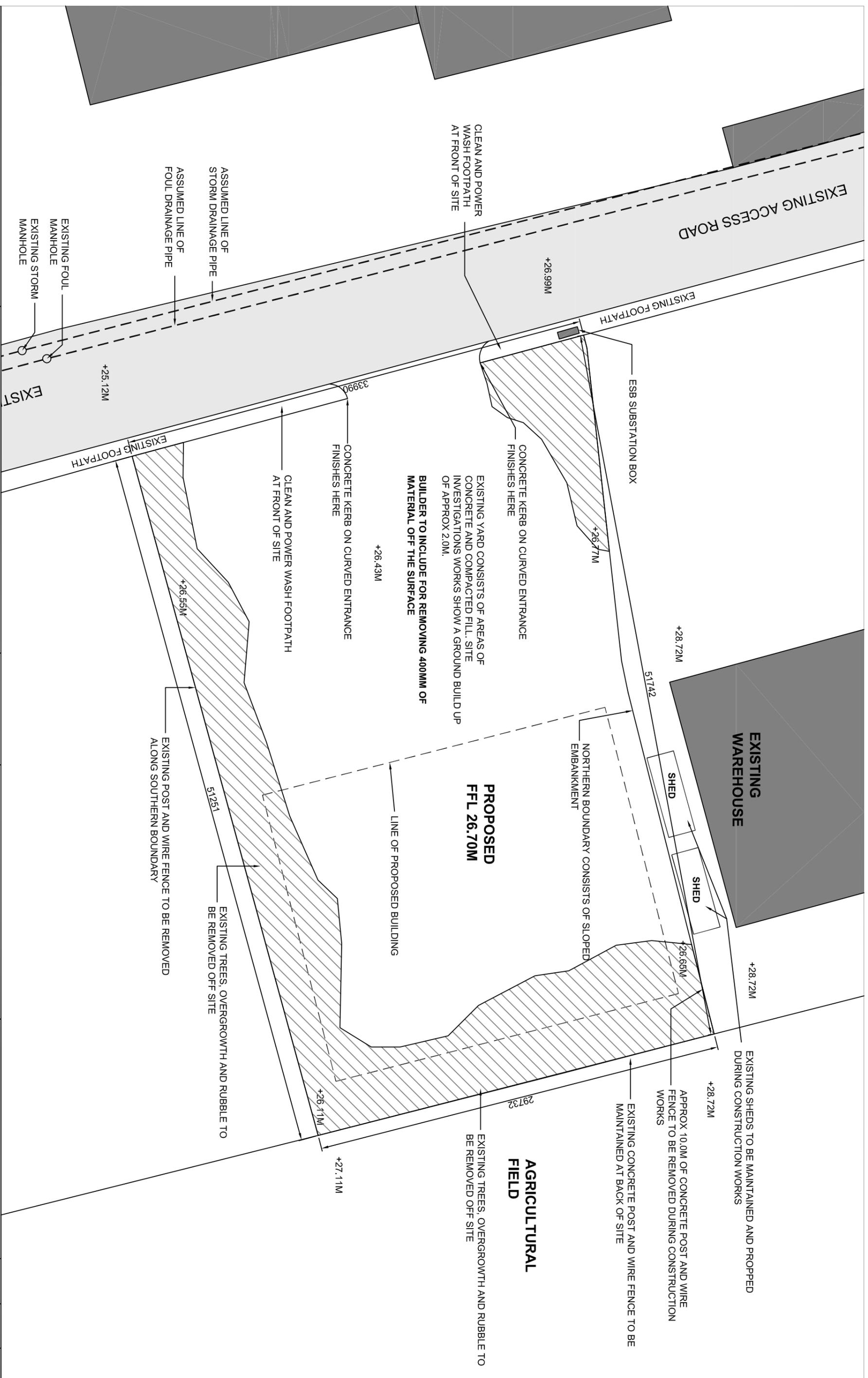
DATE CREATED:  
16.06.2019

CLIENT REFERENCE:  
3619/C

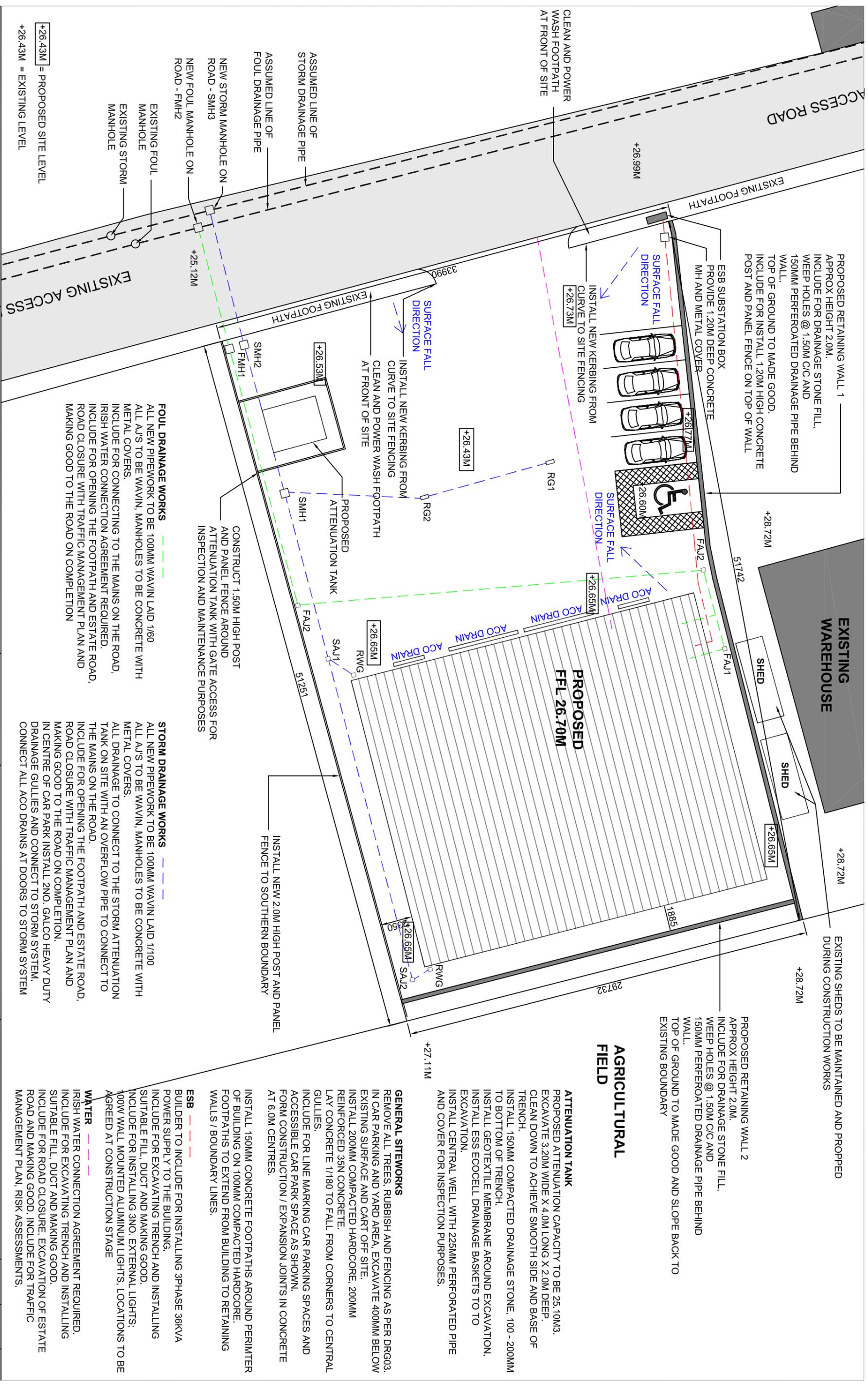
DRAWING TITLE:  
SITE LOCATION MAP 1:1000

CLIENT:  
HENBROD INVESTMENTS LTD.

|           |        |           |                 |
|-----------|--------|-----------|-----------------|
| TENDER    | A      | 01.07.19  | CS              |
| REVISION: |        | ISSUE:    | DATE:           |
| STAGE:    | SCALE: | DWG TYPE: | DRAWING NUMBER: |
| TENDER    | 1:1000 | A3        | 01              |



|  |  |   |  |                                    |  |   |  |                         |  |                        |  |                        |  |                              |  |
|--|--|---|--|------------------------------------|--|---|--|-------------------------|--|------------------------|--|------------------------|--|------------------------------|--|
| <b>ACS CONSULTING</b><br><b>ENGINEERS &amp; PROJECT MANAGERS</b>   |  | <b>PROJECT:</b><br>CONSTRUCTION OF WAREHOUSE BUILDING               |  | <b>DATE CREATED:</b><br>16.06.2019 |  | <b>DRAWING TITLE:</b><br>EXISTING SITE LAYOUT |  | <b>TENDER</b>           |  | <b>ISSUE:</b> A        |  | <b>DATE:</b> 01.07.19  |  | <b>BY:</b> CS                |  |
| VIAFLORUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK<br>TEL: (087) 6646982<br>EMAIL: CHRISTOPHER@ACSCONSULTING.IE |  | <b>LOCATION:</b><br>BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK |  | <b>CLIENT REFERENCE:</b><br>3619/C |  | <b>CLIENT:</b><br>HENBROD INVESTMENTS LTD.    |  | <b>STAGE:</b><br>TENDER |  | <b>SCALE:</b><br>1:250 |  | <b>DWG TYPE:</b><br>A3 |  | <b>DRAWING NUMBER:</b><br>03 |  |



**PROPOSED RETAINING WALL 1**  
 APPROX HEIGHT 2.0M.  
 INCLUDE FOR DRAINAGE STONE FILL,  
 WEEP HOLES @ 1.50M C/C AND  
 150MM PERFORATED DRAINAGE PIPE BEHIND  
 WALL.  
 TOP OF GROUND TO MADE GOOD,  
 INCLUDE FOR INSTALL 1.20M HIGH CONCRETE  
 POST AND PANEL FENCE ON TOP OF WALL

**PROPOSED RETAINING WALL 2**  
 APPROX HEIGHT 2.0M.  
 INCLUDE FOR DRAINAGE STONE FILL,  
 WEEP HOLES @ 1.50M C/C AND  
 150MM PERFORATED DRAINAGE PIPE BEHIND  
 WALL.  
 TOP OF GROUND TO MADE GOOD AND SLOPE BACK TO  
 EXISTING BOUNDARY

**AGRICULTURAL  
 FIELD**

**ATTENUATION TANK**  
 PROPOSED ATTENUATION CAPACITY TO BE 25.10M3.  
 EXCAVATE 3.20M WIDE X 4.0M LONG X 2.0M DEEP.  
 CLEAN DOWN TO ACHIEVE SMOOTH SIDE AND BASE OF  
 TRENCH.  
 INSTALL 150MM COMPACTED DRAINAGE STONE, 100 - 200MM  
 TO BOTTOM OF TRENCH.  
 INSTALL GEOTEXTILE MEMBRANE AROUND EXCAVATION.  
 INSTALL ESS ECOCELL DRAINAGE BASKETS TO TO  
 EXCAVATION.  
 INSTALL CENTRAL WELL WITH 225MM PERFORATED PIPE  
 AND COVER FOR INSPECTION PURPOSES.

**GENERAL SITEWORKS**  
 REMOVE ALL TREES, RUBBISH AND FENCING AS PER DRG03.  
 IN CAR PARKING AND YARD AREA, EXCAVATE 400MM BELOW  
 EXISTING SURFACE AND CART OFF SITE.  
 INSTALL 200MM COMPACTED HARDCORE, 200MM  
 REINFORCED 35N CONCRETE.  
 LAY CONCRETE 1/180 TO FALL FROM CORNERS TO CENTRAL  
 GULLIES.  
 INCLUDE FOR LINE MARKING CAR PARKING SPACES AND  
 ACCESSIBLE CAR PARK SPACE AS SHOWN.  
 FORM CONSTRUCTION / EXPANSION JOINTS IN CONCRETE  
 AT 6.0M CENTRES.  
 INSTALL 150MM CONCRETE FOOTPATHS AROUND PERIMETER  
 OF BUILDING ON 100MM COMPACTED HARDCORE.  
 FOOTPATHS TO EXTEND FROM BUILDING TO RETAINING  
 WALLS / BOUNDARY LINES.

**ESB** ---  
 BUILDER TO INCLUDE FOR INSTALLING 3PHASE 38KVA  
 POWER SUPPLY TO THE BUILDING.  
 INCLUDE FOR EXCAVATING TRENCH AND INSTALLING  
 SUITABLE FILL, DUCT AND MAKING GOOD.  
 INCLUDE FOR INSTALLING 3NO. EXTERNAL LIGHTS;  
 100W WALL MOUNTED ALUMINIUM LIGHTS. LOCATIONS TO BE  
 AGREED AT CONSTRUCTION STAGE

**WATER** ---  
 IRISH WATER CONNECTION AGREEMENT REQUIRED.  
 INCLUDE FOR EXCAVATING TRENCH AND INSTALLING  
 SUITABLE FILL, DUCT AND MAKING GOOD.  
 INCLUDE FOR ROAD CLOSURE, EXCAVATION OF ESTATE  
 ROAD AND MAKING GOOD, INCLUDE FOR TRAFFIC  
 MANAGEMENT PLAN, RISK ASSESSMENTS.

**FOUL DRAINAGE WORKS** ---  
 ALL NEW PIPEWORK TO BE 100MM WAVIN LAID 1/60  
 ALL AJS TO BE WAVIN, MANHOLES TO BE CONCRETE WITH  
 METAL COVERS.  
 INCLUDE FOR CONNECTING TO THE MAINS ON THE ROAD,  
 IRISH WATER CONNECTION AGREEMENT REQUIRED.  
 INCLUDE FOR OPENING THE FOOTPATH AND ESTATE ROAD,  
 ROAD CLOSURE WITH TRAFFIC MANAGEMENT PLAN AND  
 MAKING GOOD TO THE ROAD ON COMPLETION

**STORM DRAINAGE WORKS** ---  
 ALL NEW PIPEWORK TO BE 100MM WAVIN LAID 1/100  
 ALL AJS TO BE WAVIN, MANHOLES TO BE CONCRETE WITH  
 METAL COVERS.  
 ALL DRAINAGE TO CONNECT TO THE STORM ATTENUATION  
 TANK ON SITE WITH AN OVERFLOW PIPE TO CONNECT TO  
 THE MAINS ON THE ROAD.  
 INCLUDE FOR OPENING THE FOOTPATH AND ESTATE ROAD,  
 ROAD CLOSURE WITH TRAFFIC MANAGEMENT PLAN AND  
 MAKING GOOD TO THE ROAD ON COMPLETION.  
 IN CENTRE OF CAR PARK INSTALL 2NO. GALCO HEAVY DUTY  
 DRAINAGE GULLIES AND CONNECT TO STORM SYSTEM.  
 CONNECT ALL ACO DRAINS AT DOORS TO STORM SYSTEM

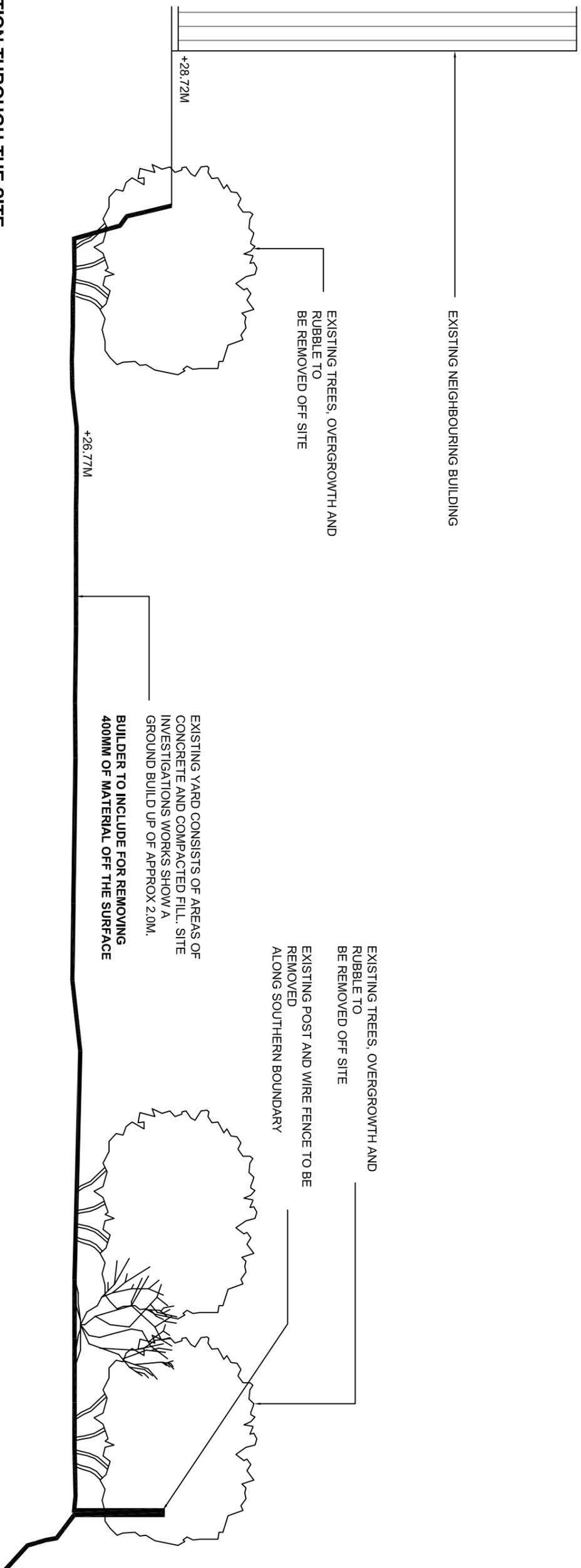
CONSTRUCT 1.50M HIGH POST  
 AND PANEL FENCE AROUND  
 ATTENUATION TANK WITH GATE ACCESS FOR  
 INSPECTION AND MAINTENANCE PURPOSES

INSTALL NEW 2.0M HIGH POST AND PANEL  
 FENCE TO SOUTHERN BOUNDARY

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|           |   |                   |            |                 |                          |
|-----------|---|-------------------|------------|-----------------|--------------------------|
| PROJECT:  | CONSTRUCTION OF WAREHOUSE BUILDING              | DATE CREATED:     | 16.06.2019 | DRAWING TITLE:  | PROPOSED SITE LAYOUT     |
| LOCATION: | BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK | CLIENT REFERENCE: | 3619/C     | CLIENT:         | HENBROD INVESTMENTS LTD. |
|           |   | STAGE:            | TENDER     | SCALE:          | 1:250                    |
|           |   | REVISION:         |            | DWG TYPE:       | A3                       |
|           |   | TENDER            |            | DRAWING NUMBER: | 04                       |
|           |   |                   |            | ISSUE:          | A                        |
|           |   |                   |            | DATE:           | 01.07.19                 |
|           |   |                   |            | BY:             | CS                       |

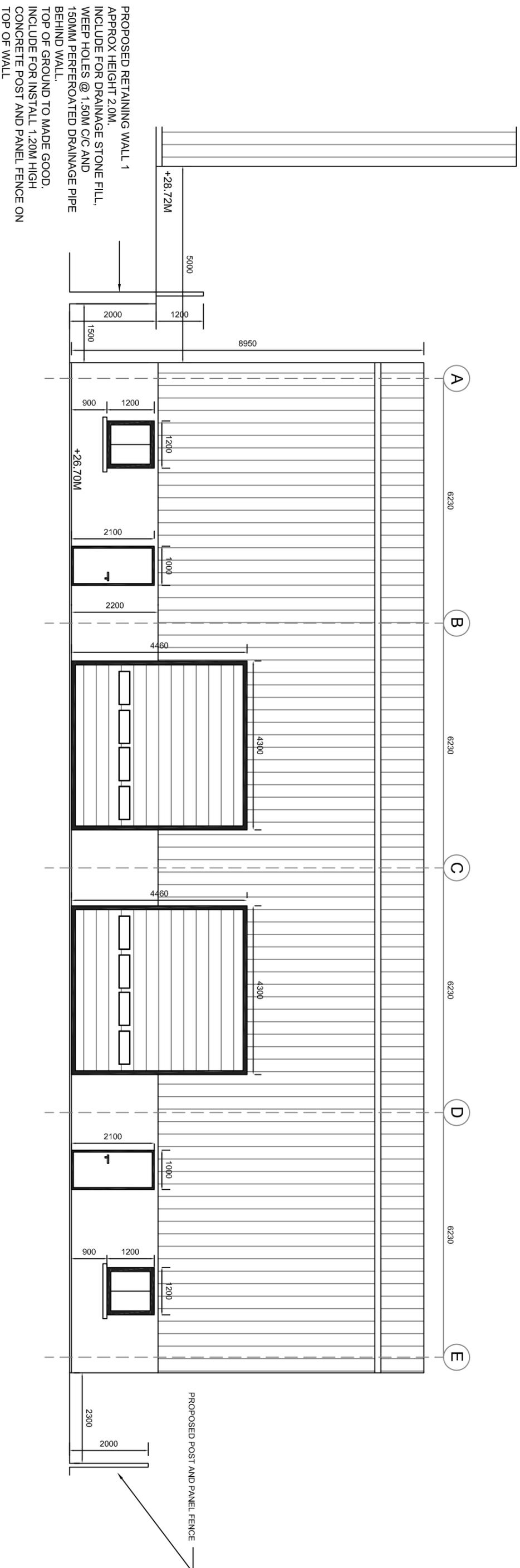


**EXISTING SECTION THROUGH THE SITE**  
SCALE 1: 100

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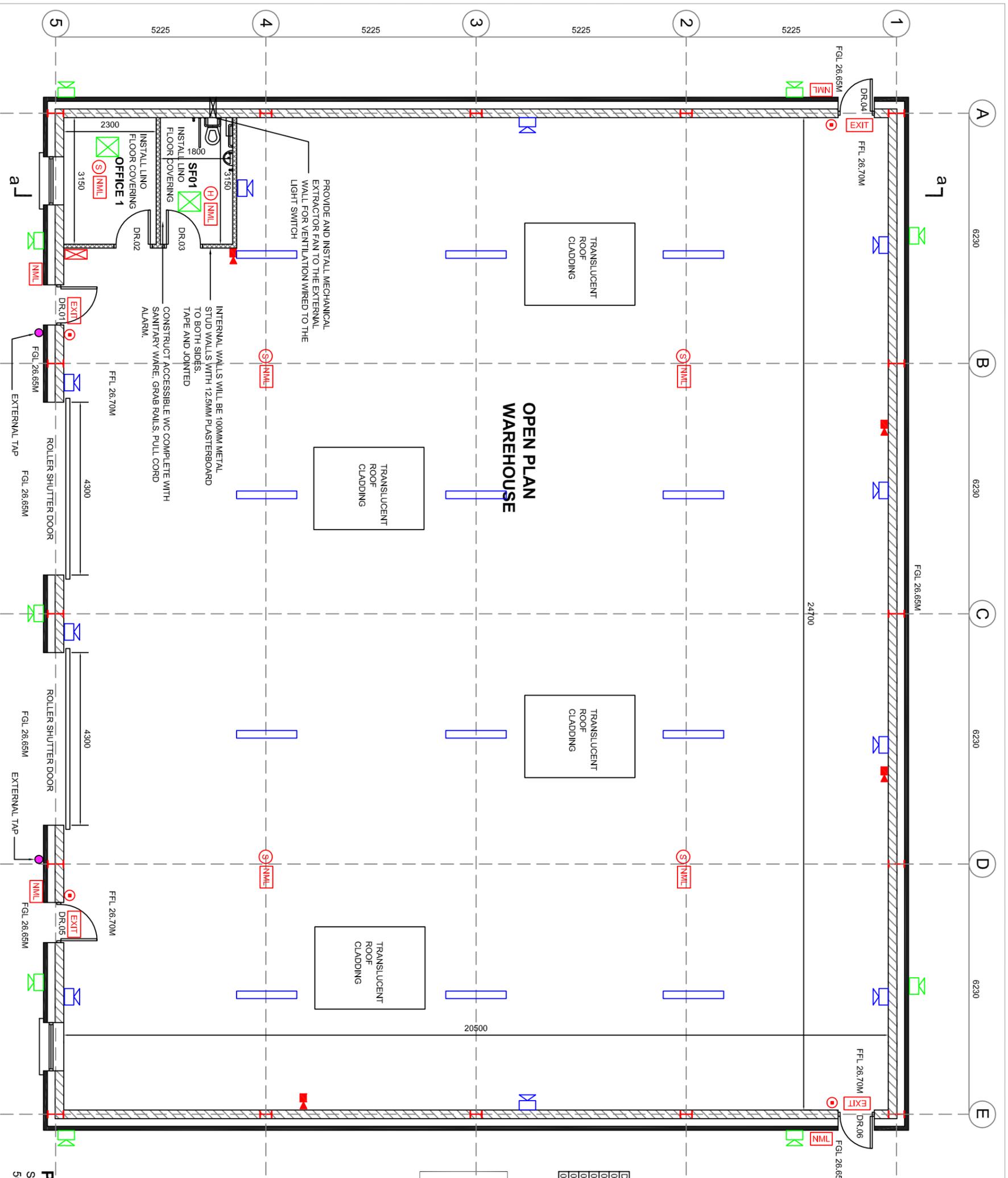
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|---|--|-------------------|--|--------------------------|--|
| PROJECT:  |  | DATE CREATED:     |  | DRAWING TITLE:           |  |
| CONSTRUCTION OF WAREHOUSE BUILDING              |  | 16.06.2019        |  | EXISTING SITE SECTION    |  |
| LOCATION:                                       |  | CLIENT REFERENCE: |  | CLIENT:                  |  |
| BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK |  | 3619/C            |  | HENBROD INVESTMENTS LTD. |  |
| STAGE:  |  | SCALE:            |  | DWG TYPE:                |  |
| TENDER  |  | 1:100             |  | A3                       |  |
| REVISION:                                       |  | ISSUE:            |  | DATE:                    |  |
|   |  | A                 |  | 01.07.19                 |  |
|   |  | BY:               |  | CS                       |  |
|   |  | DRAWING NUMBER:   |  | 05                       |  |



**PROPOSED SECTION THROUGH THE SITE**  
 SCALE 1: 100

|   |  |   |  |  |  |  |  |   |  |  |  |  |  |
|---|--|---|--|--|--|--|--|---|--|--|--|--|--|
| <p><b>ACS CONSULTING</b><br/>                 ENGINEERS &amp; PROJECT MANAGERS</p> <p>VIAFULCRUM, UNIT 10A, SOUTH RING BUSINESS PARK, KINSALE ROAD, CORK<br/>                 TEL: (087) 6646992<br/>                 EMAIL: CHRISTOPHER@ACSCONSULTING.IE</p> |  | <p>PROJECT:<br/>                 CONSTRUCTION OF WAREHOUSE BUILDING</p> |  | <p>DATE CREATED:<br/>                 16.06.2019</p>         |  | <p>DRAWING TITLE:<br/>                 PROPOSED SITE SECTION</p> |  | <p>STAGE:<br/>                 TENDER</p> |  | <p>DWG TYPE:<br/>                 A3</p> |  | <p>DRAWING NUMBER:<br/>                 06</p> |  |
| <p>LOCATION:<br/>                 BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK</p>   |  | <p>CLIENT REFERENCE:<br/>                 3619/C</p>                    |  | <p>CLIENT:<br/>                 HENBROD INVESTMENTS LTD.</p> |  | <p>REVISION:<br/>                 TENDER</p>                     |  | <p>SCALE:<br/>                 1:100</p>  |  | <p>ISSUE:<br/>                 A</p>     |  | <p>DATE:<br/>                 01.07.19</p>     |  |
|   |  |   |  |  |  |  |  |   |  | <p>BY:<br/>                 CS</p>       |  |  |  |



## OPEN PLAN WAREHOUSE

## PROPOSED FLOOR PLAN

SCALE 1:100  
506.35 SQM

| FIRE LEGEND |   |
|-------------|---|
|             | 60MIN FIRE RESISTING CONSTRUCTION   |
|             | 30MIN FIRE RESISTING CONSTRUCTION   |
|             | MAINS SMOKE DETECTOR  |
|             | MAINS HEAT DETECTOR   |
|             | NON MAINTAINED EMERGENCY LIGHT  |
|             | BREAK GLASS UNIT  |
|             | FIRE SOUNDER  |
|             | ALARM CONTROL PANEL   |
|             | FD305 30MIN FIRE DOOR WITH SMOKE SEAL                                     |
|             | FD605 60MIN FIRE DOOR WITH SMOKE SEAL                                     |
|             | VENTILATION DUCTS / EXTRACTOR FANS MINIMUM VENTILATION 0.20m <sup>2</sup> |
|             | MAINTAINED EMERGENCY LIGHTING   |

| DOOR NO: | CLEAR WIDTH: | FIRE RATING: | VISION PANEL: | DOOR FITTING:             |
|----------|--------------|--------------|---------------|---------------------------|
| 01       | 825MM        | EXT. DOOR    | YES           | THUMB TURN ON ESCAPE SIDE |
| 02       | 825MM        | N/A          | YES           | THUMB TURN ON ESCAPE SIDE |
| 03       | 825MM        | N/A          | NO            | THUMB TURN ON ESCAPE SIDE |
| 04       | 750MM        | EXT. DOOR    | NO            | PANIC BOLT ON ESCAPE SIDE |
| 05       | 825MM        | EXT. DOOR    | NO            | THUMB TURN ON ESCAPE SIDE |
| 06       | 750MM        | EXT. DOOR    | NO            | PANIC BOLT ON ESCAPE SIDE |

**FIRE DETECTION AND EMERGENCY LIGHTING**  
AN AUTOMATIC FIRE DETECTION AND ALARM SYSTEM IS PROPOSED FOR THIS DEVELOPMENT. TYPE L1 DETECTION COVERAGE IS PROPOSED. THE FIRE DETECTION AND ALARM SYSTEM SHALL BE IN ACCORDANCE WITH IS3218:2013 FIRE DETECTION & ALARM SYSTEM.  
EMERGENCY LIGHTING TO BE INSTALLED IN ACCORDANCE WITH IS3217:2013. CODE OF PRACTICE FOR EMERGENCY LIGHTING

**GENERAL ELECTRICAL**  
ELECTRICIAN TO BRING IN 3 PHASE POWER SUPPLY, 38KVA.  
USE METAL CONDUITS AND SOCKETS THROUGHOUT  
ELECTRICIAN TO INCLUDE FOR CIRCUIT BOARD, METER BOX, WIRING, CABLING, SAFETY SWITCHES AS STANDARD.  
INCLUDE FOR ALL LIGHT FIXTURES AND SUPPORTS AS REQUIRED  
FOR LIGHTING. USE THORLUX LIGHTING OR SIMILAR

ROOF HUNG ZIPLINE PRE WIRED. CORROSION RESISTANT LED LUMINAIRES  
EXTERNAL BULKHEADS  
THORLUX G4 RECESSED OFFICE LIGHTING

ALL SOCKETS AND LIGHT SWITCH COVERS TO BE METAL.  
INCLUDE FOR 4 X DOUBLE SOCKETS AND TRUNKING TO THE OFFICE.  
INCLUDE FOR PHONE, INTERNET, CAT 5 CABLING TO THE OFFICE.  
INCLUDE FOR 4NO. LIGHT SWITCHES AT ALL EXTERNAL DOORS TO CONTROL CENTRAL WAREHOUSE LIGHTING AND WALL MOUNTED LIGHTING.  
INCLUDE FOR 12 DOUBLE SOCKETS TO THE OPEN PLAN WAREHOUSE. INCLUDE FOR 4NO. EXTERNAL DOUBLE SOCKETS.

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PROJECT:  
**CONSTRUCTION OF WAREHOUSE BUILDING**

LOCATION:  
**BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK**

DATE CREATED:  
**16.06.2019**

CLIENT REFERENCE:  
**3619/C**

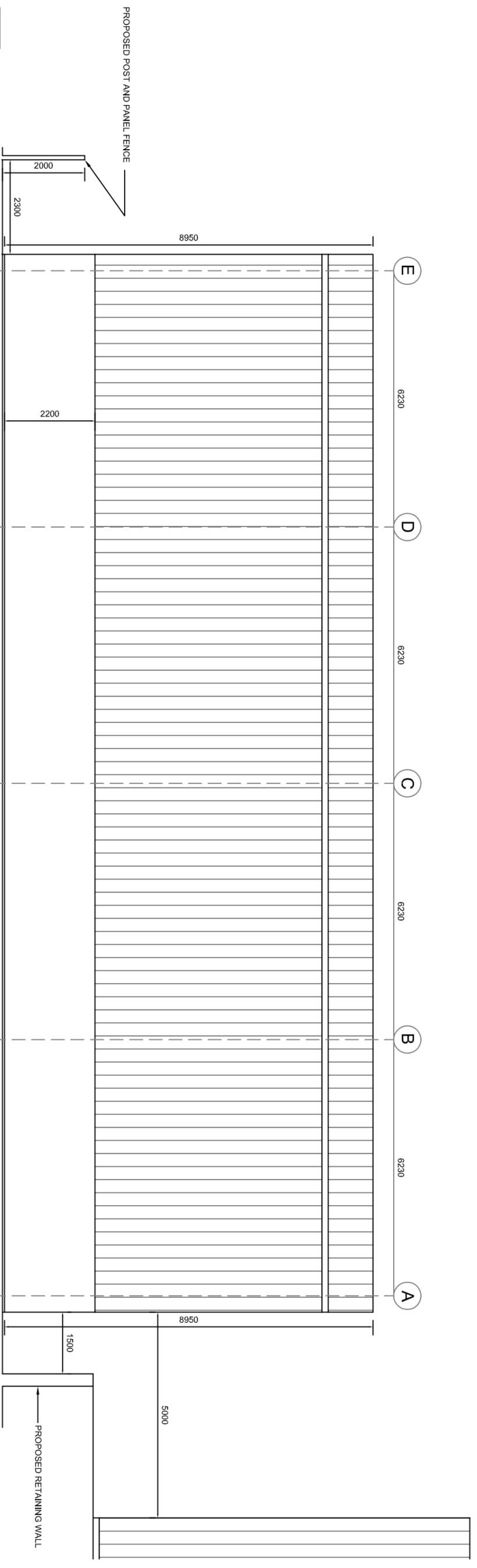
DRAWING TITLE:  
**PROPOSED FLOOR PLAN**

CLIENT:  
**HENBROD INVESTMENTS LTD.**

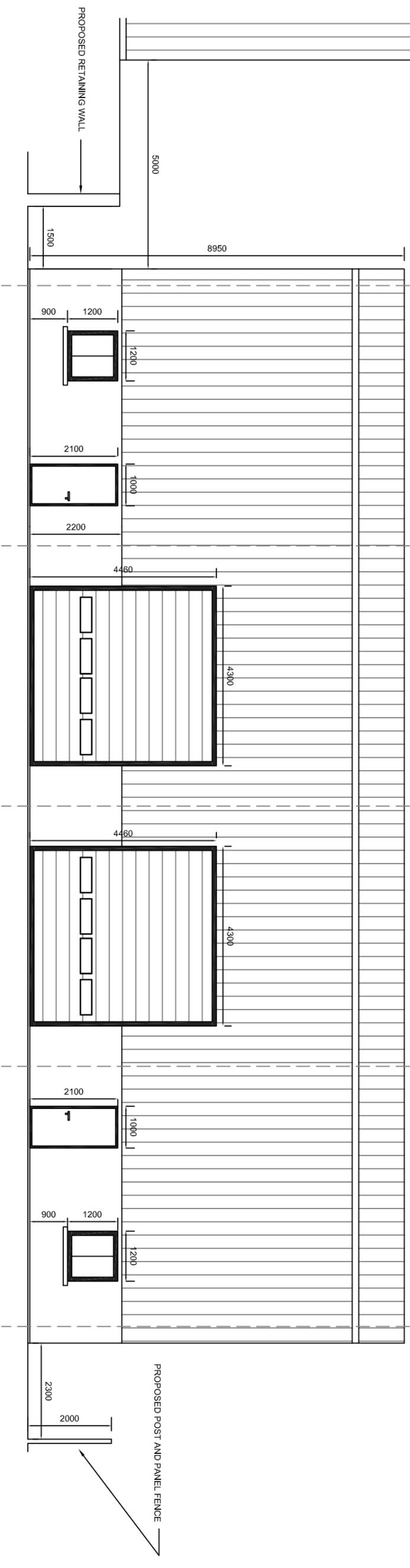
| STAGE: | SCALE: | DWG TYPE: | DRAWING NUMBER: |
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| TENDER | 1:100  | A3        | 07              |

| REVISION: | ISSUE: | DATE:    | BY: |
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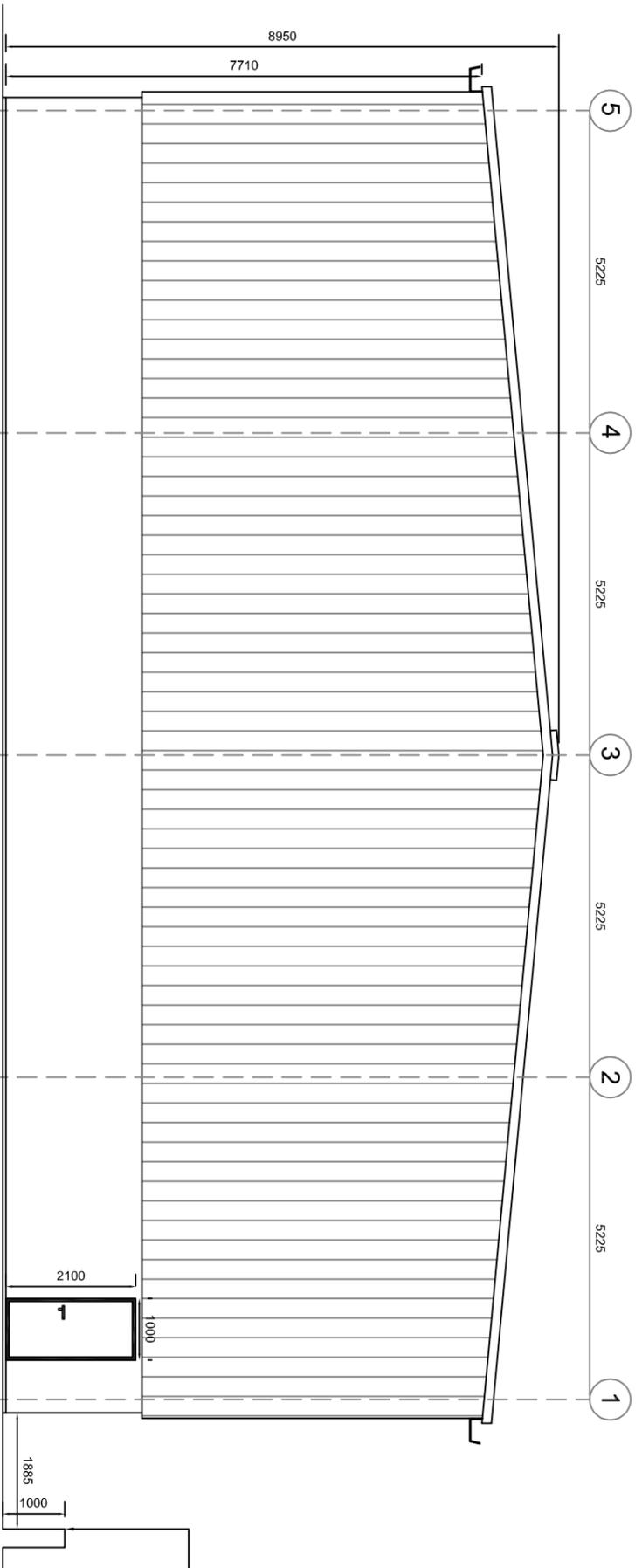


**REAR ELEVATION**  
SCALE 1: 100



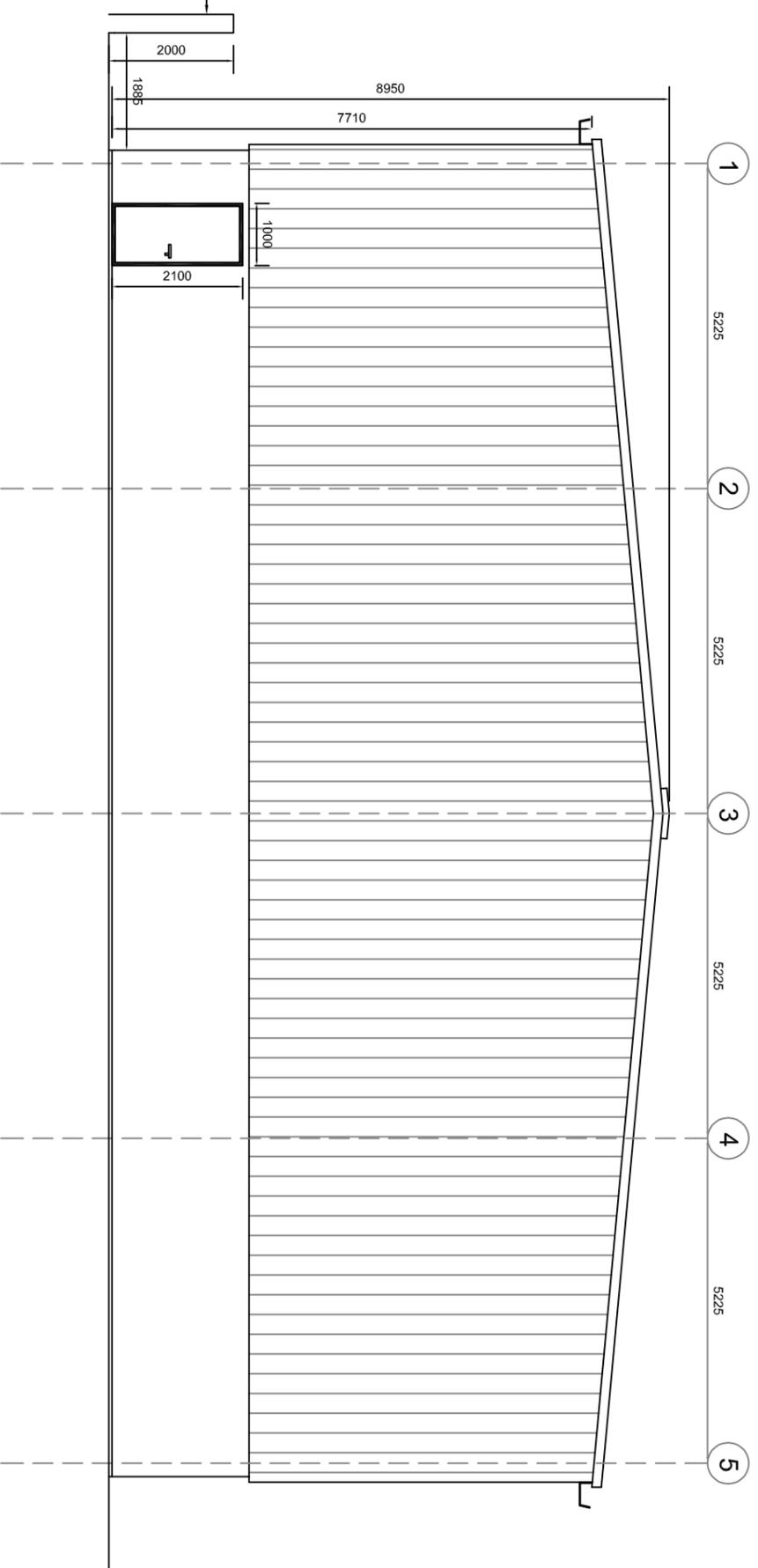
**FRONT ELEVATION**  
SCALE 1: 100

|   |  |   |  |  |  |   |                                      |
|---|--|---|--|--|--|---|--------------------------------------|
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| <p>LOCATION:<br/><b>BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK</b></p>   |  | <p>CLIENT REFERENCE:<br/><b>3619/C</b></p>                    |  | <p>CLIENT:<br/><b>HENBROD INVESTMENTS LTD.</b></p> |  | <p>STAGE:<br/><b>TENDER</b></p>                           |                                      |
|   |  |   |  |  |  | <p>SCALE:<br/><b>1:100</b></p>                            | <p>DWG TYPE:<br/><b>A3</b></p>       |
|   |  |   |  |  |  | <p>ISSUE:<br/><b>A</b></p>                                | <p>DATE:<br/><b>01.07.19</b></p>     |
|   |  |   |  |  |  | <p>BY:<br/><b>CS</b></p>                                  | <p>DRAWING NUMBER:<br/><b>09</b></p> |



**SOUTH ELEVATION**  
SCALE 1: 100

PROPOSED RETAINING WALL 2  
APPROX HEIGHT 2.0M.  
INCLUDE FOR DRAINAGE STONE FILL,  
WEEP HOLES @ 1.50M C/C AND  
150MM PERFEROATED DRAINAGE PIPE  
BEHIND  
WALL.  
TOP OF GROUND TO MADE GOOD AND  
SLOPE BACK TO EXISTING BOUNDARY



**NORTH ELEVATION**  
SCALE 1: 100

PROPOSED RETAINING WALL 2  
APPROX HEIGHT 2.0M.  
INCLUDE FOR DRAINAGE STONE FILL,  
WEEP HOLES @ 1.50M C/C AND  
150MM PERFEROATED DRAINAGE PIPE  
BEHIND  
WALL.  
TOP OF GROUND TO MADE GOOD AND  
SLOPE BACK TO EXISTING BOUNDARY

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| PROJECT:  |  | DATE CREATED:     |  | DRAWING TITLE:           |  |
| CONSTRUCTION OF WAREHOUSE BUILDING              |  | 16.06.2019        |  | SIDE ELEVATIONS          |  |
| LOCATION:                                       |  | CLIENT REFERENCE: |  | CLIENT:                  |  |
| BROOKLODGE EAST, BROOKLODGE, GLANMIRE, CO. CORK |  | 3619/C            |  | HENBROD INVESTMENTS LTD. |  |
| STAGE:  |  | SCALE:            |  | DWG TYPE:                |  |
| TENDER  |  | 1:100             |  | A3                       |  |
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| TENDER  |  | A                 |  | 01.07.19                 |  |
| DRAWING NUMBER:                                 |  | BY:               |  | CS                       |  |
| 10  |  |                   |  |                          |  |